



**AGENDA
PLANNING COMMISSION PRE-MEETING**

Tuesday, August 13, 2019
A light dinner will be served at 6 p.m.
Pre-Meeting Begins at 6:30 p.m.

CMO Conference Room
Upper Level, City Hall

ITEM NO. 1: Items on This Evening's Agenda

- a) Public Hearing and Action on St. Mark Village Preliminary Development Plan and Official Development Plan

Prepared by: David German, Senior Planner

ITEM NO. 2: Upcoming Planning Commission Meeting Agenda Items

August 27, 2019	Canceled
Sept 10, 2019	To be confirmed
Sept 24, 2019	Church Ranch Home Place PDP and ODP Amendment -Senior Affordable Multifamily Housing
Oct 8, 2019	To be confirmed
Oct 22, 2019	To be confirmed



PLANNING COMMISSION MEETING AGENDA

1. ROLL CALL
2. CONSIDERATION OF MEETING MINUTES
 - a. Meeting Minutes of June 11, 2019
3. CONSIDERATION OF NEW BUSINESS AND PUBLIC HEARING
 - a. Public hearing and action on St. Mark Village Preliminary Development Plan and Official Development Plan

Prepared by: David German, Senior Planner

4. OLD BUSINESS
5. MISCELLANEOUS BUSINESS
6. ADJOURNMENT

PLEASE NOTE

The following are the procedures used by the Planning Commission:

1. Staff will present agenda items. The Developer may present after Staff.
2. Those in attendance who favor the proposed development may address the Commission, followed by those who do not favor the proposed development. The Chair may impose time limits on speakers. **PLEASE SIGN THE SHEET IN THE FRONT OF THE COUNCIL CHAMBERS WHEN YOU SPEAK.**
3. All questions shall be addressed to the Chair of the Planning Commission. The Chair will call on Staff to address questions at the end of the hearing. Planning Commission reserves the right to question anyone at any time during the Public Hearing.
4. The Commission is charged with the review of Comprehensive Plan Amendments, Rezoning, Preliminary Development Plans, Amended Preliminary Development Plans, Official Development Plans, Amended Official Development Plans, Preliminary Plats and Amended Preliminary Plats that are not approved administratively by the City Manager.
5. There are two different procedures involved in the review of applications for development plan approval and the procedure depends on the type of plan under consideration:
 - a. After review and a public hearing, the Planning Commission may recommend approval of an application, approval subject to specified conditions, or denial of an application. The Planning Commission is **not** the final authority on these applications. The City Council is the final decision maker.
 - b. On applications for Official Development Plans and Amended Official Development Plans, the Planning Commission **does** make the final decision, unless the decision of the Planning Commission is appealed to the City Council within 10 days of the Planning Commission decision by a "party-in-interest," as described in Section 11-5-13(B.1) of the Westminster Municipal Code. If a decision of the Planning Commission is properly appealed to the City Council, the City Council will schedule the item for consideration at one of their upcoming meetings and, after holding a public hearing, make a final decision on the application.

If you need further information regarding this process, or any other matter related to the City's development review process, please contact the City Planning Division at 303-658-2092.



WESTMINSTER

CITY OF WESTMINSTER PLANNING COMMISSION

Meeting Minutes
June 11, 2019

1. ROLL CALL

The regular meeting was called to order at 7:00 pm by Chair James Boschert. Present were Commissioners Dave Carpenter, Lawrence Dunn, David Tomecek, Elisa Torrez and Chennou Xiong. Vice-Chair Joe McConnell, Commissioners Tracey Colling and Rick Mayo were excused from attendance. Also present: Staff members Rita McConnell, Planning Manager, John McConnell, Principal Planner, Patrick Caldwell, Senior Planner, Jennifer Baden, Planning Aide and Karen Gay, City Manager's Office. With the roll called, Chairperson Boschert stated that both alternates would be voting.

2. CONSIDERATION OF MINUTES

Meeting Minutes from May 14, 2019.

Commissioner Dunn made a motion to accept the minutes from the May 14, 2019 Planning Commission meeting. Commissioner Carpenter seconded the motion. The minutes were unanimously accepted (6-0).

3. CONSIDERATION OF NEW BUSINESS AND PUBLIC HEARINGS

Public Hearing and Action on: 1) a proposed amendment to the Westminster Comprehensive Plan to designate the land use as Public Parks for five lots in the North Mountain Subdivision with addresses at 6930, 6940, 6950, and 6960 Lowell Boulevard; and 2) an amendment to the Westminster zoning map to establish zoning as Specific Plan District (SPD) for five lots in the North Mountain Subdivision with addresses at 6930, 6940, 6950, and 6960 Lowell Boulevard. The lots were annexed into the City on April 22, 2019. Following the Planning Commission review the City Council may add a Comprehensive Plan land use designation, and establish Zoning for these properties.

Patrick Caldwell, Senior Planner, entered into the record the agenda memorandum, attachments, property postings, proof of applicant mailing and public notice affidavit of publication from the Westminster Window May 30, 2019. Mr. Caldwell narrated a PowerPoint presentation for the proposal to:

- a. Hold a public hearing.
- b. Recommend that the Planning Commission recommend to City Council approval of a proposed amendment to the Westminster Comprehensive Plan to designate the land use as Public Parks for five lots in the North Mountain Subdivision with addresses at 6930, 6940, 6950, and 6960 Lowell Boulevard. This recommendation is based on a finding that the Amendment is generally supported by the criteria set forth in Section 11-5-21 of the Westminster Municipal Code.
- c. Recommend that the Planning Commission recommend to City Council approval of an amendment to the Westminster zoning map to establish zoning as Specific Plan District (SPD) for five lots in the North Mountain Subdivision with addresses at 6930, 6940, 6950, and 6960 Lowell Boulevard. This recommendation is based on a finding that the Amendment is generally supported by the criteria set forth in Section 11-4-3 and 11-5-2 and 11-5-3 of the Westminster Municipal Code.

Chairperson Boschert opened the floor for discussion and questions from the Commissioners to the Staff and applicant.

Having no discussion and hearing no questions, Chairperson Boschert opened the public hearing at 7:08 p.m.

Seeing that no members of the public were present to offer public comment, Chairperson Boschert closed the public hearing at 7:08 p.m. and entertained discussion from the Commissioners.

Commissioner Carpenter motioned that the Planning Commission recommend to City Council approval of a proposed amendment to the Westminster Comprehensive Plan to designate the land use as Public Parks for five lots in the North Mountain Subdivision with addresses at 6930, 6940, 6950, and 6960 Lowell Boulevard. This recommendation is based on a finding that the Amendment is generally supported by the criteria set forth in Section 11-5-21 of the Westminster Municipal Code. Commissioner Dunn seconded the motion. The motion was unanimously approved (6-0).

Commissioner Dunn motioned that the Planning Commission recommend to City Council approval of an amendment to the Westminster zoning map to establish zoning as Specific Plan District (SPD) for five lots in the North Mountain Subdivision with addresses at 6930, 6940, 6950, and 6960 Lowell Boulevard. This recommendation is based on a finding that the Amendment is generally supported by the criteria set forth in Section 11-4-3 and 11-5-2 and 11-5-3 of the Westminster Municipal Code. Commissioner Tomecek seconded the motion. The motion was unanimously approved (6-0).

A full recording of the meeting will be made available upon request.

4. ADJOURNMENT

The meeting was adjourned at 7:11 p.m.

THE WESTMINSTER PLANNING COMMISSION

James Boschert, Chairperson



WESTMINSTER
COLORADO

Agenda Memorandum

Planning Commission Meeting
August 13, 2019



Visionary Leadership, Effective Governance and Proactive Regional Collaboration



Vibrant, Inclusive and Engaged Community

Subject: Public hearing and action on St. Mark Village Preliminary Development Plan and Official Development Plan

Prepared By: David German, AICP, Senior Planner

Recommended Planning Commission Action:

Hold a public hearing. Recommend approval of the Preliminary Development Plan and Official Development Plan to City Council, for six contiguous lots in the Hollyhurst Subdivision, totaling approximately 6.00 acres.

Summary Statement:

- The applicant requests a recommendation of approval of a proposed Preliminary Development Plan (PDP) (see Attachment 4) and Official Development Plan (ODP) (see Attachment 5) by Planning Commission to City Council. The PDP and ODP, if approved, would become the new governing documents of Lots 11, 12, 45, 46, 47, and 48 of the Hollyhurst Subdivision, consisting of approximately 6.00 acres. These lots would be re-platted to create a new 216-unit for-rent, affordable housing apartment complex to be known as St. Mark Village. This project is located at the northwest corner of West 97th Avenue and Federal Boulevard.
- Staff has reviewed both the PDP and ODP using the criteria found in the Westminster Municipal Code (W.M.C.), Sections 11-5-14 and 11-5-15, respectively.
- Planning Commission reviewed the request for a Comprehensive Plan amendment on May 14, 2019, and voted unanimously (5-0) to recommend that City Council approve it based on the findings that meet the criteria set forth in W.M.C. Section 11-5-21. City Council heard the Comprehensive Plan amendment on June 24, 2019, and continued the meeting to July 8, 2019, and then to August 26, 2019. The PDP and ODP applications will also be considered by City Council at the August 26, 2019 public hearing.
- Approval of the PDP and ODP is contingent upon the approval by City Council of the Comprehensive Plan amendment.

Fiscal Impact:

\$0 in expenditures.

Source of Funds:

Not applicable.

Policy Issue(s):

Should Planning Commission recommend approval of the PDP and ODP to City Council for the subject property known as St. Mark Village?

Alternative(s):

W.M.C. Sections 11-5-9 and 11-5-10 outline that Planning Commission provide a recommendation for approval or denial of the PDP and ODP, respectively, to City Council. Given this, there are two alternatives:

1. Planning Commission could recommend approval of the PDP and denial of the ODP to City Council. This action would require a redesign of the ODP. Staff does not recommend this option because it would likely eliminate the opportunity for development of affordable housing at this site.
2. Planning Commission could recommend denial of both the PDP and ODP to City Council. Under this scenario, both documents would need to be redesigned. Staff does not recommend this option because it would likely eliminate the opportunity for development of affordable housing at this site.

Background Information:Overview of Development Review and Entitlement Process

The development review and approval process can vary throughout the City, based on the specific property and the proposed development, but typically requires a PDP and ODP pursuant to the land use allowances established by the Comprehensive Plan. The Comprehensive Plan includes specific land use designations that provide a broad range of uses and identify allowed densities and intensities of use. The W.M.C. requires that any future development be in compliance with the Comprehensive Plan. Planning Commission recommended approval of the Comprehensive Plan amendment that will be considered by City Council on August 26, 2019.

Approval of the PDP and ODP is the next step in the process for the applicant. The PDP serves as the principal zoning document for the site and establishes intended future development parameters in broad terms. Allowable land uses, descriptions of the future development, and relationships between the site and surrounding properties and street networks are established. The intent, limitations, and regulations for the project are created. If needed, the timing and/or phasing of the development is identified. A PDP was established in 1988 for the area consisting of Lots 9-12 and 45-48 of the Hollyhurst Subdivision, which was initially platted in 1925. The applicant has submitted an application for an amendment to this PDP for the future development of Lots 11, 12, and 45-48.

The ODP is a more specific plan for a development site and establishes locations for landscaping, parking, access, and other requirements such as building orientation and architecture. The applicant has also submitted an application for a new ODP for the future development of Lots 11, 12, and 45-48. Pursuant to Section 11-5-8(B)(2)(a) of the W.M.C., the City Manager has elected to refer the ODP to Planning Commission and City Council for their consideration at a public hearing.

During the course of review, it is common that a proposed development does not meet one or more of the development standards listed in the applicable design standard document, the Landscape Regulations, or the W.M.C. The standards of approval set forth in the W.M.C. for both the PDP and ODP address this issue by allowing City Council to approve these exceptions if it determines that they are warranted by virtue of design or special amenities incorporated in the development proposal and are clearly identified on the PDP and ODP (see W.M.C. Sections 11-5-14(3) and 11-5-15(4), respectively).

Finally, engineering and building plans are required. Once these documents are approved, physical construction may commence.

History of Subject Property

The Hollyhurst Subdivision began as a sixty-lot subdivision originally platted in 1925 in Adams County. The entire subdivision was annexed into the City as part of the North Areas to Broomfield Annexation in 1970. A PDP approved in 1988 rezoned all of the lots to Planned Unit Development (PUD). Lots 11, 12, and 45-48 were never developed.

Nature of Request

The applicant is seeking approval of a PDP and an ODP that would re-plat the six lots of the St. Mark Village property (Lots 11, 12, and 45-48) into a single lot of approximately six acres (see Attachment 1 for a vicinity map). While the new property would retain its current PUD zoning designation, the PDP and ODP include a new 216-unit for-rent affordable apartment complex on the site, which is currently vacant land. Approval of the PDP and ODP is contingent upon the approval of the Comprehensive Plan amendment.

Applicant Information for Private Properties:

Applicant

St. Charles Town Company
Contact: Jordan Zielinski
1850 Platte Street, 2nd Floor
Denver, CO 80202

Property Owner

3100 West 97th Avenue, LLC
Contact: Jordan Zielinski
1850 Platte Street, Suite 200
Denver, CO 80202

Location

The lots in this application are contiguous and are located at the northwest corner of West 97th Avenue and Federal Boulevard in the Hollyhurst Subdivision.

Surrounding Land Uses and Designations

As shown in the table below, the St. Mark Village property is surrounded by a variety of uses. To the north are single family detached homes and single family attached (townhouse) homes. To the south are a church (St. Mark Catholic Church) and a restaurant (Wishbone Restaurant). To the west, the City maintains an elevated water tank tower, known as the "Hydropillar." A second elevated water tank tower is currently under construction on this same lot. The easternmost boundary of the St. Mark Village property abuts Federal Boulevard, which also marks the City of Westminster's boundary with the City of Federal Heights. The Federal Heights property immediately to the east of Federal Boulevard is vacant, and carries a commercial zoning designation.

Direction	Development Name	Zoning	Comp Plan Designation	Current Use
North	North Park Subdivision (Filings 10, 11, and 14)	PUD	R-3.5 and R-8 Residential	Single Family Detached and Attached Homes
East	City Boundary (Federal Heights)	(Federal Heights)	(Not in City of Westminster)	(Vacant; Designated for Commercial Uses by Federal Heights)
South	Wishbone Restaurant St Mark Catholic Church	PUD	Retail/Commercial;* R-3.5 and R-8 Res; Public/Quasi-Public	Restaurant; Church
West	City of Westminster	PUD	Public/Quasi-Public*	Elevated Water Tank Towers

(* Proposed)

Public Notification

W.M.C. Section 11-5-13 requires the following three public notification procedures:

- Published Notice: Notice of public hearings scheduled before Planning Commission shall be published and posted at least ten days prior to such hearing and at least four days prior to City Council public hearings. Notice was published in the *Westminster Window* by August 1, 2019.

- Property Posting: Notice of public hearings shall be posted on the property with one sign in a location reasonably visible to vehicular and pedestrian traffic passing adjacent to the site. Signs were posted on the subject property by August 1, 2019.
- Written Notice: At least ten days prior to the date of the public hearing, the applicant shall mail individual notices by first-class mail to property owners and homeowner's associations registered with the City within 300 feet of the subject property. The applicant has provided the City's Planning Manager with a certification that the required notices were mailed by August 1, 2019.

Westminster Municipal Code Analysis

11-5-14. - Standards for Approval of Planned Unit Development Zoning, Preliminary Development Plans and Amendments to Preliminary Development Plans.

(A) *In reviewing an application for approval of Planned Unit Development zoning and its associated Preliminary Development Plan, or an amended Preliminary Development Plan, the following criteria shall be considered:*

- 1) *The Planned Unit Development (PUD) zoning and the proposed land uses in the associated Preliminary Development Plan are in conformance with the City's Comprehensive Plan and all City Codes, ordinances, and policies.*
The PDP will be in conformance with the City's Comprehensive Plan, if the Comprehensive Plan designation is amended to R-36 Residential. The PDP complies with all other requirements, unless otherwise warranted pursuant to Criterion 3, below.
- 2) *The Preliminary Development Plan exhibits the application of sound, creative, innovative, and efficient planning principles.*
The site is designed in an efficient manner that accommodates the desired density. The design of the onsite stormwater infrastructure offered by this project represents a sound and creative innovation. The PDP complies with all other requirements, unless otherwise warranted pursuant to Criterion 3, below.
- 3) *Any exceptions from standard Code requirements or limitations are warranted by virtue of design or special amenities incorporated in the development proposal and are clearly identified on the Preliminary Development Plan.*
Exceptions are clearly listed on Attachment 2 and on the PDP, with justifications for each provided by the applicant and accepted by staff, demonstrating that the exceptions are warranted.
- 4) *The PDP is compatible and harmonious with existing public and private development in the surrounding area.*
The design has no impact on adjacent public development (the City's elevated water tower property), and should be compatible and harmonious with the restaurant (Wishbone Restaurant) and church (St. Mark Church) uses nearby. The site benefits from physical separation. To the north, a minimum of eighty-five feet would exist between buildings of St. Mark Village and nearby North Park homes. To the south, the separation is accentuated by a public right-of-way (West 97th Avenue) and will provide at least seventy-five feet between St. Mark Village buildings and future buildings of the Holly Park Subdivision. The difference in densities between St. Mark Village buildings and those of the North Park Subdivision is mitigated by the building form and distribution/massing of the St. Mark proposal. Rather than a steep high-rise approach, the St. Mark design limits building heights to three stories. With the separation provided, this is an acceptable design adjacent to the one and two story homes of North Park.
- 5) *The PDP provides for the protection of the development from potentially adverse surrounding influences and for the protection of the surrounding areas from potentially adverse influence from within the development.*
The physical separation described in Criterion 4, above, serves the project well in helping to protect against dust, noise, vibration, and the casting of shadow over adjoining buildings to the north and south. A landscaping berm helps to mitigate noise from Federal Boulevard to the east. To the west, the City's elevated water towers do not significantly impact the ODP, nor does the ODP impact the water towers. The towers represent a silent unobtrusive neighbor. A landscaping berm helps to mitigate noise from Federal Boulevard to the east.

- 6) *The PDP has no significant adverse impacts upon existing or future land uses nor upon the future development of the immediate area.*
The PDP and associated development, if approved, should not adversely impact existing or future land uses.
- 7) *Streets, driveways, access points, and turning movements are designed in a manner that promotes safe, convenient, and free traffic flow on streets without interruptions, and in a manner that creates minimum hazards for vehicles and pedestrian traffic.*
While all turning movements proposed will be safe for both vehicles and pedestrians and not significantly affect neighboring streets, the development of the site will contribute additional traffic to the area as compared to its currently undeveloped state. The potential percentage increase in traffic would not be substantial, and can be adequately handled via existing transportation infrastructure.
- 8) *The City may require rights-of-way adjacent to existing or proposed arterial or collector streets, any easements for public utilities and any other public lands to be dedicated to the City as a condition to approving the PDP. Nothing herein shall preclude further public land dedications as a condition to ODP or plat approvals by the City.*
The PDP and associated development, if approved, will not preclude any needed future public land dedications.
- 9) *Performance standards are included that insure reasonable expectations of future Official Development Plans being able to meet the Standards for Approval of an Official Development Plan contained in Section 11-5-15, W.M.C.*
The PDP includes all needed Standards for Approval to ensure that reasonable and required expectations of the associated ODP will be met.
- 10) *The applicant is not in default or does not have any outstanding obligations to the City.*
The applicant is not in default, and does not have any outstanding obligations to the City.

(B) Failure to meet any of the above-listed standards may be grounds for denial of an application for Planned Unit Development zoning, a Preliminary Development Plan or an amendment to a Preliminary Development Plan.

11-5-15. - Standards for Approval of Official Development Plans and Amendments to Official Development Plans.

(A) In reviewing an application for the approval of an Official Development Plan or amended Official Development Plan, the following criteria shall be considered:

- 1) *The plan is in conformance with all City Codes, ordinances, and policies.*
The ODP will be in conformance with the City's Comprehensive Plan, if the Comprehensive Plan designation is amended to R-36 Residential. The ODP complies with all other requirements, unless otherwise warranted pursuant to Criterion 4, below.
- 2) *The plan is in conformance with an approved Preliminary Development Plan or the provisions of the applicable zoning district, if other than Planned Unit Development (PUD).*
The ODP is in conformance with the PDP. Approval of the ODP is contingent on the associated PDP being approved.
- 3) *The plan exhibits the application of sound, creative, innovative, or efficient planning and design principles.*
The site is designed in an efficient manner that accommodates the desired density. The design of the onsite stormwater infrastructure offered by this project represents a sound and creative innovation. The PDP complies with all other requirements, unless otherwise warranted pursuant to Criterion 4, below.
- 4) *For plans in PUD zones, any exceptions from standard code requirements or limitations are warranted by virtue of design or special amenities incorporated in the development proposal and are clearly identified on the Official Development Plan.*

Exceptions are clearly listed on Attachment 2 and on the PDP, with justifications for each provided by the applicant and accepted by staff, demonstrating that the exceptions are warranted.

- 5) *The plan is compatible and harmonious with existing public and private development in the surrounding area.*

The design has no impact on adjacent public development (the City's elevated water tower property), and should be compatible and harmonious with the restaurant (Wishbone Restaurant) and church (St. Mark Church) uses nearby. The site benefits from physical separation. To the north, a minimum of eighty-five feet would exist between buildings of St. Mark Village and nearby North Park homes. To the south, the separation is accentuated by a public right-of-way (West 97th Avenue) and will provide at least seventy-five feet between St. Mark Village buildings and future buildings of the Holly Park Subdivision. The difference in densities between St. Mark Village buildings and those of the North Park Subdivision is mitigated by the building form and distribution/massing of the St. Mark proposal. With the separation provided, this is an acceptable design adjacent to the one and two story homes of North Park.

- 6) *The plan provides for the protection of the development from potentially adverse surrounding influences and for the protection of the surrounding areas from potentially adverse influence from within the development.*

The physical separation described in Criterion 5, above, serves the project well in helping to protect against dust, noise, vibration, and the casting of shadow over adjoining buildings to the north and south. A landscaping berm helps to mitigate noise from Federal Boulevard to the east. To the west, the City's elevated water towers do not significantly impact the ODP, nor does the ODP impact the water towers. The towers represent a silent unobtrusive neighbor. A landscaping berm helps to mitigate noise from Federal Boulevard to the east.

- 7) *The plan has no significant adverse impacts on future land uses and future development of the immediate area.*

The ODP and associated development, if approved, should not adversely impact existing or future land uses.

- 8) *The plan provides for the safe, convenient, and harmonious grouping of structures, uses, and facilities and for the appropriate relation of space to intended use and structural features.*

The ODP mitigates site constraints and requires a design that ensures that the needed level of fire safety, fire suppression, ingress and egress access, and maintenance access are achieved.

- 9) *Building height, bulk, setbacks, lot size, and lot coverages are in accordance with sound design principles and practice.*

Rather than a high-rise approach, the design limits building heights to three-story multi-family buildings (in St. Mark Village) adjacent to one- and two-story single-family homes (in North Park), which is common in the City. There is separation provided between these buildings, primarily by an existing seventy-five foot wide Public Service Company of Colorado (Xcel Energy) easement that runs parallel along the southernmost portion of the North Park Subdivision boundary. The ODP complies with all other requirements, unless otherwise warranted pursuant to Criterion 4, above.

- 10) *The architectural design of all structures is internally and externally compatible, in terms of shape, color, texture, forms, and materials.*

The architecture of the buildings has been successfully designed to meet the requirements of the Multi-Family Residential Design Standards, unless otherwise warranted pursuant to Criterion 4, above. Finishes and colors are clean, compatible, and modern, and will be complementary to the architecture found in the adjacent North Park subdivision, which was built in the 1990s.

- 11) *Fences, walls, and vegetative screening are provided where needed and as appropriate to screen undesirable views, lighting, noise, or other environmental effects attributable to the development.*

Existing fencing along the southern boundary of the North Park subdivision, and new landscaping, once mature, should appropriately screen the development. As a recipient of federal funds from the U.S. Department of Housing and Urban Development, the development is required to meet standard limitations on noise levels; this will be achieved with appropriate building techniques and materials.

- 12) *Landscaping is in conformance with City Code requirements and City policies and is adequate and appropriate.*
The ODP includes the use of raingardens and innovative stormwater elements and plantings and exceeds the standard number of trees required. The ODP complies with all other requirements, unless otherwise warranted pursuant to Criterion 4, above.
- 13) *Existing and proposed streets are suitable and adequate to carry the traffic within the development and its surrounding vicinity.*
The existing transportation infrastructure is adequate to carry the traffic within the development and its surrounding vicinity.
- 14) *Streets, parking areas, driveways, access points, and turning movements are designed in a manner that promotes safe, convenient, and free traffic flow on streets without interruptions, and in a manner that creates minimum hazards for vehicles and pedestrian traffic.*
While all turning movements proposed will be safe for both vehicles and pedestrians and not significantly affect neighboring streets, the development of the site will contribute additional traffic to the area as compared to its currently undeveloped state. The potential percentage increase in traffic would not be substantial, and can be adequately handled via existing transportation infrastructure.
- 15) *Pedestrian movement is designed in a manner that forms a logical, safe, and convenient system between all structures and off-site destinations likely to attract substantial pedestrian traffic.*
Routes are being established to existing pedestrian facilities, where possible. Crosswalks and controlled crossing points (at West 96th Avenue) also help to ensure pedestrian safety. Primary crossing points within the development have been augmented with enhanced pedestrian crossings which help to alert motorists and encourage the use of safer, slower speeds.
- 16) *Existing and proposed utility systems and storm drainage facilities are adequate to serve the development and are in conformance with the Preliminary Development Plans and utility master plans.*
The City has done extensive work with the applicant, including offering innovative solutions, to ensure that utility and storm drainage facilities are adequate to serve the development. The design elements needed to ensure efficient effective systems will be further fine-tuned with civil engineering and construction documents that will be finalized later in the development process.
- 17) *The applicant is not in default or does not have any outstanding obligations to the City.*
The applicant is not in default, and does not have any outstanding obligations to the City.

(B) Failure to meet any of the above-listed standards may be grounds for denial of an Official Development Plan or an amendment to an Official Development Plan.

Neighborhood Meeting(s) and Public Comments

The following meetings have been held related to this project:

- 1) Neighborhood Meeting: Comprehensive Plan Amendment (Location: Westminster High School)
This neighborhood meeting was held on February 27, 2019. The applicant for St. Mark Village hosted the meeting, introduced the project, and fielded questions from the nine citizens who attended. The Project Planner and six other Staff members also attended the meeting to listen and observe as well as to offer support on any technical questions from the attendees. Those in attendance voiced only one concern about the proposal to change the Comprehensive Plan designation of the properties in question, and that was a general concern related to already existing traffic problems in the area and how these might be exacerbated by further development.
- 2) Planning Commission Meeting: Comprehensive Plan Amendment (Location: City Hall)
Held on May 14, 2019, the Planning Commission meeting was sparsely attended. Two members of the public raised concerns about the compatibility of R-36 density adjacent to R-3.5 and R-8 densities (a reference to the North Park Subdivision), and about already existing traffic problems in the area.

- 3) **City Council Meeting: Comprehensive Plan Amendment (Location: City Hall)**
A heavily attended City Council meeting was held on June 24, 2019. There were many people who attended from the adjacent North Park Subdivision, and made comments or raised concerns, including but not limited to: the proximity and effect of affordable housing on nearby property values, the potential for crime increases, the appropriateness of R-36 density adjacent to R-3.5 and R-8 densities, traffic problems, physical proximity of the proposed new multi-story buildings to nearby homes, and parking concerns. City Council continued the meeting to July 8, 2019. At the July 8, 2019 meeting, the application was continued again to August 26, 2019.
- 4) **Neighborhood Meeting: PDP and ODP Documents (Location: St. Mark Church Annex Building)**
A second neighborhood meeting was held on July 2, 2019, and was heavily attended, predominantly by residents of the adjacent North Park Subdivision and members of the St. Mark Catholic Church parish. The applicant hosted the meeting, introduced the project, and fielded questions. The Project Planner and seven other Staff members also attended the meeting to listen and observe, as well as to offer support on any technical questions from the attendees. The overall tone was very similar to the June 24, 2019 City Council meeting, with speakers raising many of the same concerns heard previously.

After the June 24, 2019 City Council meeting, many individuals began to reach out to City Staff with comments, concerns, and questions, and inquiries have remained steady since that time. Answers were provided to direct questions, where possible, and all inquiries were acknowledged via email, whenever email addresses were provided. All written comments received, in unedited form, are provided for review in Attachment 3.

Summary of Staff Recommendation

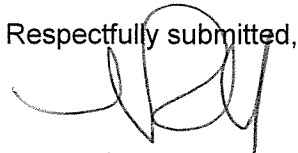
Recommend approval of the PDP and ODP to City Council, contingent upon the approval of the Comprehensive Plan amendment. The development proposed with this PDP and ODP, known as St. Mark Village, is located on six contiguous lots (Lots 11, 12, and 45-48) in the Hollyhurst Subdivision located at the northwest corner of West 97th Avenue and Federal Boulevard. If approved, St. Mark Village will consist of 216 for-rent affordable apartment units.

This recommendation is based on a finding that the PDP is generally supported by the criteria set forth in Section 11-5-14 of the W.M.C., and that the ODP is generally supported by the criteria set forth in Section 11-5-15 of the W.M.C.

Strategic Plan

This project supports the City's Strategic Plan goals of Visionary Leadership, Effective Governance and Proactive Regional Collaboration by supporting regional efforts to expand the availability of affordable housing as well as Vibrant, Inclusive and Engaged Community through proactive development of diverse, integrated housing options.

Respectfully submitted,



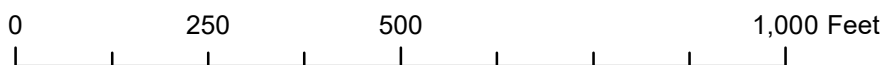
Rita McConnell, AIGP
Planning Manager

Attachments

- Attachment 1: Vicinity Map
- Attachment 2: List of Exceptions (with Justifications) Requested by Applicant
- Attachment 3: Input Received from the Public
- Attachment 4: Preliminary Development Plan (PDP) Document
- Attachment 5: Official Development Plan (ODP) Document



Vicinity Map
St. Mark Village
NWC - 97th Avenue & Federal Blvd.



EXCEPTIONS AND JUSTIFICATIONS LIST – ST. MARK VILLAGE**1) BUILDING SETBACKS:**

REQUIREMENT NOT MET IN MULTIPLE AREAS:

- A. THE WEST PROPERTY LINE IS ADJACENT TO THE CITY'S ELEVATED WATER TOWER SITE. GIVEN THE BUILDING HEIGHTS OF 45 FEET, 4 INCHES, THE WEST SETBACK MINIMUM WOULD BE 68 FEET. THE PROPOSED SETBACK ON THE SITE PLAN IS 10 FEET.

JUSTIFICATION: DUE TO THE NATURE AND LONG TERM MUNICIPAL USE OF THE CITY'S HYDROPILE PROPERTY ADJACENT TO THE WEST OF ST MARK VILLAGE, A 10 FOOT SETBACK FROM THE WESTERLY PROPERTY LINE FOR FIRE PROTECTION BEST PRACTICES IS PROVIDED. REDEVELOPMENT OF A MUNICIPAL PROPERTY SERVING A CRITICAL MUNICIPAL FUNCTION TO LARGE AREAS OF THE CITY IS HIGHLY UNLIKELY AND THEREFORE, THE REDUCED SETBACK IS WARRANTED.

- B. THE NORTH PROPERTY LINE IS ADJACENT TO NORTH PARK PRIVATE OPEN SPACE. NORTH PARK IS A RESIDENTIAL NEIGHBORHOOD WITH SINGLE-FAMILY AND TOWNHOME RESIDENCES. GIVEN THE BUILDING HEIGHTS OF 45 FEET, 4 INCHES, THE NORTH SETBACK MINIMUM WOULD BE 68 FEET. THE PROPOSED SETBACK ON THE SITE PLAN IS 5 FEET.

JUSTIFICATION: ADJACENT TO THE NORTHERN PROPERTY LINE OF ST. MARK VILLAGE, THERE EXISTS A 75 FOOT WIDE UTILITY EASEMENT LOCATED ON PROPERTY PLATTED IN THE NORTH PARK SUBDIVISION TO ACCOMMODATE HIGH VOLTAGE UTILITY TRANSMISSION LINES. FROM THE NORTHERN LINE OF THE UTILITY EASEMENT TO THE MOST NORTHERLY BUILDING FACE OF ST MARK VILLAGE, THERE IS A DISTANCE (AND THEREBY AN EFFECTIVE SETBACK DUE TO THE UTILITY EASEMENT BEING UNDEVELOPABLE) OF 80 FEET, WHICH IS IN EXCESS OF THE REQUIRED SETBACK FROM THE NORTHERLY PROPERTY LINE.

- C. THE EAST PROPERTY LINE IS ADJACENT TO FEDERAL BOULEVARD. A 75' BUILDING SETBACK IS REQUIRED FROM ARTERIAL STREETS. THE PROPOSED SETBACK ON THE SITE PLAN IS 39 FEET, 7 1/4 INCHES.

JUSTIFICATION: THE 2013 COMPREHENSIVE PLAN ENVISIONS URBAN PLANNING THAT BRINGS BUILDINGS CLOSER TO THE STREET EDGE, HIGH QUALITY MATERIALS, AND IMPROVED SITE LANDSCAPING AND PEDESTRIAN AMENITIES. AS THE SITE PLAN DEMONSTRATES, ST. MARK VILLAGE ACHIEVES THE OBJECTIVES OF THE COMPREHENSIVE PLAN WITH A SIGNATURE TOWER FACED WITH STONE ALONG FEDERAL BOULEVARD AND ENHANCED LANDSCAPING ALONG THE STREET EDGE TO SCREEN VEHICULAR PARKING AND MOVEMENT ON-SITE WITHIN THE 39 FOOT, 7 1/4 INCH SETBACK.

- D. GIVEN THE BUILDING HEIGHTS OF 45 FEET, 4 INCHES, THE EAST PROPERTY LINE ADJACENT TO THE WISHBONE RESTAURANT PROPERTY WOULD HAVE A 68-FOOT REQUIRED BUILDING SETBACK. THE PROPOSED SETBACK ON THE SITE PLAN IS 10 FEET.

JUSTIFICATION: THE WISHBONE PROPERTY IS A CURRENTLY IMPROVED PARCEL WITH A PARKING LOT ADJACENT TO ST MARK VILLAGE ON THE SOUTHEAST CORNER OF THE SITE. THE SHARED EAST/WEST PROPERTY LINE MAINTAINS A 100 FOOT SETBACK FROM THE SHARED PROPERTY LINE TO ANY BUILDING FACE. THE SHARED NORTH/SOUTH PROPERTY LINE MAINTAINS A 10 FOOT SETBACK FOR FIRE PROTECTION BEST PRACTICES. SHOULD THE WISHBONE PROPERTY GET REDEVELOPED AT SOME POINT IN THE FUTURE, AN EQUIVALENT TEN FOOT SETBACK FOR THE REDEVELOPED PROPERTY WOULD PROVIDE ADEQUATE FIRE PROTECTION FOR ANY USE DEVELOPED. FURTHER, THIS AREA OF ST MARK'S VILLAGE IS A NON-DOMINANT FACADE WITH LIMITED WINDOW OPENINGS, FURTHER REDUCING THE RISK FOR ANY FUTURE FIRE PROTECTION ISSUES IF THE WISHBONE PROPERTY WERE TO BE REDEVELOPED. THE PROPOSED SETBACK HELPS PROMOTE THE VISUAL APPEARANCE OF A STREET WALL AND IN TURN A BETTER STREETScape ALONG 97TH AVENUE, WHICH IS CRITICAL TO THE PEDESTRIAN EXPERIENCE.

- E. THE REMAINDER OF THE SOUTH BOUNDARY LINE IS ADJACENT TO 97TH AVENUE. GIVEN THE BUILDING HEIGHTS OF 45 FEET, 4 INCHES, THE SOUTH SETBACK MINIMUM WOULD BE 68 FEET. THE PROPOSED SETBACK ON THE SITE PLAN IS 25 FEET.

JUSTIFICATION: THE 2013 COMPREHENSIVE PLAN ENVISIONS URBAN PLANNING THAT BRINGS BUILDINGS CLOSER TO THE STREET EDGE, HIGH QUALITY MATERIALS, AND IMPROVED SITE LANDSCAPING AND PEDESTRIAN AMENITIES. AS THE SITE PLAN DEMONSTRATES, ST. MARK VILLAGE ACHIEVES THE OBJECTIVES OF THE COMPREHENSIVE PLAN WITHIN THE 25 FOOT SETBACK BY BRINGING BUILDINGS CLOSER TO THE STREET EDGE TO CREATE A STREET WALL, INSTALLING BULB-OUTS AT THE SIDEWALK ON BOTH SIDES OF 97TH AVENUE AS A TRAFFIC CALMING SOLUTION AND PEDESTRIAN AMENITY, AND UTILIZING GREEN INFRASTRUCTURE RAIN GARDENS THE ENTIRE FRONTAGE ALONG 97TH AVENUE, WHICH SERVE AS A VISUAL AMENITY USING SUSTAINABLE WATER QUALITY METHODS.

2) LANDSCAPE SETBACK AREAS:

REQUIREMENT NOT MET: 35' LANDSCAPED SETBACK AREA (25' ALONG FEDERAL BLVD.) NOT PROVIDED. NO PARKING IS PERMITTED IN THESE SETBACK AREAS.

JUSTIFICATION: THE 2013 COMPREHENSIVE PLAN ENVISIONS URBAN PLANNING THAT BRINGS BUILDINGS CLOSER TO THE STREET EDGE, HIGH QUALITY MATERIALS, AND IMPROVED SITE LANDSCAPING AND PEDESTRIAN AMENITIES. IN LIEU OF THE 35' LANDSCAPED SETBACK AREA, ENHANCED LANDSCAPING PLANTINGS HAVE BEEN PROVIDED AT A RATE 3 TIMES THE NUMBER OF REQUIRED PLANTINGS AND ADEQUATELY SCREENING ON-SITE VEHICULAR PARKING AND MOVEMENT.

3) SETBACK OF POOL / CLUBHOUSE:

REQUIREMENT NOT MET: 100' SEPARATION BETWEEN POOL/CLUBHOUSE AND PROPERTY LINE.

JUSTIFICATION: PRIVACY LANDSCAPING WILL BE INSTALLED NORTH OF THE POOL LOCATION IN ORDER TO SCREEN THE ACTIVITY AREA. FURTHER, AN EXISTING LANDSCAPING BERM WITH MATURE LANDSCAPING ALREADY EXISTS APPROXIMATELY 16-22 FEET NORTH OF THE PROPOSED POOL LOCATION AND A 75 FOOT WIDE UTILITY EASEMENT PROVIDES ADEQUATE BUFFER TO EXISTING NEIGHBORS TO THE NORTH. IN ADDITION, THE AREA SOUTH OF AN EXISTING FENCE ALONG THE NORTH PROPERTY LINE IS TO BE ADDRESSED BY A FUTURE ODP AMENDMENT WHICH IS EXPECTED TO PROVIDE FOR A SUBSTANTIAL TREE SCREEN IN THIS AREA, PER ACCEPTANCE BY THE NORTH PARK EAST ASSOCIATION.

4) **DETACHED SIDEWALKS:**

REQUIREMENT NOT MET: NO DETACHED SIDEWALK (MINIMUM 5' WIDE, WITH STREET TREES / LANDSCAPING BETWEEN CURB AND SIDEWALK) PROVIDED ALONG 97TH AVENUE.

JUSTIFICATION: 4 FOOT WIDE ATTACHED SIDEWALKS ALONG 97TH AVENUE ARE ALREADY IN PLACE AND CONSTRUCTED, ARE CONSISTENT WITH THE ENTIRE LENGTH OF 97TH AVENUE FROM FEDERAL TO LOWELL. DETACHING THE SIDEWALKS ALONG 97TH AVENUE WOULD MAKE THE ST MARK VILLAGE PARCEL LOOK OUT OF PLACE WITHIN THE SURROUNDING NEIGHBORHOOD CONTEXT. FURTHER, DUE TO 97TH AVENUE NOT BEING AN ARTERIAL ROADWAY, THE PEDESTRIAN EXPERIENCE IS NOT DIMINISHED AS LIMITED VEHICULAR TRAFFIC EXISTS ALONG THE STRETCH OF 97TH AVENUE BETWEEN FEDERAL AND LOWELL.

5) **PARKING:**

REQUIREMENT NOT MET: SHORTAGE IN PARKING SPACES PROVIDED; (273 PROVIDED, 347 REQUIRED, 74 SHORT). (NOTE: ON-STREET PARKING SPACES MAY NOT BE COUNTED.)

JUSTIFICATION: PARKING STUDY PROVIDED TO THE CITY OF WESTMINSTER SUPPORTED A PARKING REDUCTION BETWEEN 21% AND 41% LOWER THAN MINIMUM REQUIREMENTS. A PARKING RATIO OF 1.26:1.00 IS UTILIZED, A 21% REDUCTION. THE REDUCTION IS AT A TYPICAL RATE FOR THE METRO AREA.

6) **COVERED AND/OR GARAGE PARKING:**

REQUIREMENT NOT MET: NO CARPORTS OR GARAGES PROVIDED.

JUSTIFICATION: ST MARK VILLAGE IS TO BE A RENT-RESTRICTED AFFORDABLE COMMUNITY AND IN ORDER TO MAINTAIN AFFORDABILITY, REQUESTS COVERED PARKING REQUIREMENTS BE ELIMINATED AND INSTEAD, POTENTIAL FUTURE ROOFTOP SOLAR PHOTOVOLTAIC BE AN ALTERNATIVE PROJECT COMPONENT SHOULD PROJECT BUDGET SAVINGS DURING CONSTRUCTION ALLOW, HELPING TO MAINTAIN AFFORDABILITY OVER THE LONG TERM.

7) **LANDSCAPED ENTRY MEDIAN:**

REQUIREMENT NOT MET: ENTRANCE LANDSCAPED MEDIAN NOT PROVIDED.

JUSTIFICATION: IN ORDER TO MAINTAIN THE TRADITIONAL DESIGN OF ST MARK VILLAGE, WHICH COMPLIMENTS THE NEIGHBORING ST MARK'S CATHOLIC CHURCH, A MEDIAN/ISLAND HAS BEEN OMMITTED HOWEVER, ST MARK VILLAGE FEATURES TWO ENTRY TOWER DESIGN COMPONENTS CENTERED BY A STONE CLUBHOUSE CAPPING THE ENTRY DRIVE TO ACHIEVE THE DESIRED PLACEMAKING AND SITE IDENTIFICATION PURPOSES THAT MEDIAN/ISLANDS PROVIDE AT A PRIMARY ENTRANCE.

8. GROUND-LEVEL LIGHTING:

REQUIREMENT NOT MET: GROUND-LEVEL LIGHTING NOT PROVIDED.

JUSTIFICATION: DUE TO THE INFILL NATURE OF THE DEVELOPMENT, PROPOSED SIDEWALKS ARE IN CLOSE PROXIMITY TO BUILDING LIGHTING THAT WILL SUFFICIENTLY ILLUMINATE GROUND LEVEL PATHWAYS AND ADDITIONAL GROUND LIGHTING IS NOT NEEDED.

9. HOT TUB AND SPLASH PAD:

REQUIREMENT NOT MET: HOT TUB AND SPLASH PAD NOT PROVIDED.

JUSTIFICATION: IN LIEU OF A HOT TUB AND SPLASH PAD, A POOL IS TO BE PROVIDED TO BETTER ACCOMMODATE THE FAMILY DEMOGRAPHICS OF THE TO-BE-CONSTRUCTED COMMUNITY.

10. SWIMMING POOL DECK WIDTHS:

REQUIREMENT NOT MET: MINIMUM DECK WIDTHS AROUND POOL NOT PROVIDED.

JUSTIFICATION: MINIMUM SWIMMING POOL DECK WIDTHS MEET OR EXCEED 2015 INTERNATIONAL SWIMMING POOL AND SPA CODE.

11. BUILDING AND PARKING SPACING:

REQUIREMENT NOT MET: MINIMUM 15' SPACING BETWEEN BUILDINGS AND PARKING AREAS NOT PROVIDED.

JUSTIFICATION: DUE TO THE INFILL NATURE OF THE SITE AND IN AN EFFORT TO PROVIDE AS MUCH ON-SITE PARKING AS FEASIBLE BASED ON NEIGHBORHOOD FEEDBACK THE 15' MINIMUM DIMENSION IS PROPOSED TO VARY FROM 12' TO 45' WITH ENHANCED LANDSCAPING PROVIDED WHERE BUILDING FRONTS AND PARKING INTERACT.

12. PARALLEL BUILDING SPACING:

REQUIREMENT NOT MET: MINIMUM 40' SPACING BETWEEN PARALLEL BUILDINGS NOT PROVIDED.

JUSTIFICATION: PROPERTY IS AN INFILL DEVELOPMENT SITE THAT CANNOT MEET THE INTENT OF THE PROPERTY'S ZONING IF PARALLEL BUILDING SPACING OF 40' IS MAINTAINED. INSTEAD, EVERY OTHER BUILDING HAS A DIFFERENT OVERALL FORM, SCALE, OR ORIENTATION TO BREAK UP THE VIEWING PLANE.

13. NON-PARALLEL BUILDING SPACING:

REQUIREMENT NOT MET: MINIMUM 35' SPACING BETWEEN NON-PARALLEL BUILDINGS NOT PROVIDED.

JUSTIFICATION: PROPERTY IS AN INFILL DEVELOPMENT SITE THAT CANNOT MEET THE INTENT OF THE PROPERTY'S ZONING IF PARALLEL BUILDING SPACING OF 35' IS MAINTAINED. INSTEAD, EVERY OTHER BUILDING HAS A DIFFERENT OVERALL FORM, SCALE, OR ORIENTATION TO BREAK UP THE VIEWING PLANE.

14. PRIMARY AND ACCESSORY BUILDING SPACING:

REQUIREMENT NOT MET: MINIMUM 25' SPACING BETWEEN PRIMARY AND ACCESSORY BUILDINGS (CLUBHOUSE) NOT PROVIDED.

JUSTIFICATION: PROPERTY IS AN INFILL DEVELOPMENT SITE THAT CANNOT MEET THE INTENT OF THE PROPERTY'S ZONING IF PARALLEL BUILDING SPACING OF 25' IS MAINTAINED. INSTEAD, EVERY OTHER BUILDING HAS A DIFFERENT OVERALL FORM, SCALE, OR ORIENTATION TO BREAK UP THE VIEWING PLANE.

15. PARKING LOT SETBACKS FROM INTERIOR PROPERTY LINES:

REQUIREMENT NOT MET: PARKING LOT SETBACKS (15') FROM INTERIOR PROPERTY LINES NOT PROVIDED.

JUSTIFICATION: THE WISHBONE RESTAURANT PROPERTY HAS A BLOCK WALL WITH THICK TREE CANOPY ON THE PROPERTY LINE. WHEN COMBINED WITH ADDITIONAL LANDSCAPING TO BE INSTALLED AT ST MARK'S VILLAGE, THERE WILL BE AN ADEQUATE YEAR ROUND BUFFER PROVIDED IN LESS THAN THE 15 FOOT SETBACK REQUIREMENT.

16. TREATMENT OF UPPER-FLOOR BUILDING MASSING:

REQUIREMENT NOT MET: ONE-STORY STEP-DOWN IN BUILDING HEIGHTS NOT PROVIDED.

JUSTIFICATION: IN LIEU OF A STEP-DOWN IN BUILDING HEIGHTS, WHICH WOULD NOT FULFILL THE INTENT OF THE SITE'S ZONING, THE BUILDING DESIGN REFLECTS COMPONENTS OF A STEPPED DESIGN AND OTHER DESIGN ELEMENTS THAT CONVEY A SENSE OF PLACE AT RELATABLE AND RELEVANT HUMAN SCALE, WITH OVERALL HEIGHT BEING ONE STORY HIGHER THAN ADJACENT EXISTING PROPERTY. EACH BUILDING FAÇADE EXHIBITS VARYING ROOF AND PITCH ELEMENTS OF NOT LESS THAN 4 ELEVATIONS. THE COMMUNITY ENTRY FEATURES TWO SIGNATURE TOWERS ON THE BUILDING CORNERS WHICH BREAK THE FAÇADE AND CONVEY SIGNIFICANCE. THE BUILDING ALONG FEDERAL BOULEVARD FEATURES A TOWER THAT TIES INTO THE ENTRYWAY DESIGN FOR CONSISTENCY OF EXPERIENCE. THE TYPICAL FAÇADE DESIGN CONVEYS A STIMULATING AESTHETIC THAT COMPLIMENTS THE NEARBY ST MARK CATHOLIC CHURCH WHILE ALSO FULFILLING THE HIGHEST AND BEST UTILIZATION OF THE ZONING INTENT.

17. EXTERIOR BUILDING MATERIALS AND COLORS:

REQUIREMENT NOT MET: BUILDING EXTERIOR CLADDING SURFACES, INCLUDING AT LEAST 2 FEET AROUND THE BASE OF THE BUILDING, PATIO AND BALCONY AREAS, BUT EXCEPTING WINDOW, DOOR, OR RAILING PORTIONS, ON ALL SIDES OF ALL PRIMARY AND ACCESSORY BUILDINGS, ARE NOT FINISHED WITH THIRTY PERCENT (30%) OR MORE OF ALL WITH MASONRY (BRICK OR STONE).

JUSTIFICATION: IN AN EFFORT TO KEEP THE PROJECT AN AFFORDABLE DEVELOPMENT, THE DESIGN UTILIZES STONE IN PROMINENT PUBLIC FACING LOCATIONS ONLY, INCLUDING SIGNATURE STONE ENTRY TOWERS ALONG 97TH AVENUE AND A STONE TOWER ALONG FEDERAL BOULEVARD IN LIEU OF STONE OR MASONRY ON 30% OF ALL EXTERIOR CLADDING SURFACES. THE DESIGN ALSO UTILIZES TWO ALTERNATING COLOR SCHEMES TO HELP DIFFERENTIATE AND DISTINGUISH EACH BUILDING TYPE.

18. BALCONY ENCLOSURE:

REQUIREMENT NOT MET: BALCONIES ARE FRONTED WITH RAILINGS RATHER THAN OPAQUE WALLS.

JUSTIFICATION: ENCLOSED BALCONIES PROVIDE FOR A DATED LOOK AND FEEL AND ARE NOT IN KEEPING WITH CURRENT ARCHITECTURAL DESIGN OR TENANT EXPECTATIONS. BALCONIES ARE RECESSED WITHIN UNITS (IE NOT PROTRUDING FROM THE BUILDING FAÇADE) PROVIDING ENCLOSURE THROUGH DESIGN AND A BETTER, MORE USABLE TENANT EXPERIENCE.

19. SITE LANDSCAPING PERCENTAGE:

REQUIREMENT NOT MET: MINIMUM OF 40% OF SITE LANDSCAPED IS NOT MET.

JUSTIFICATION: PROPERTY IS AN INFILL DEVELOPMENT SITE THAT CANNOT MEET THE INTENT OF THE PROPERTY'S ZONING IF 40% OF THE SITE IS LANDSCAPED. HOWEVER, THE PROPERTY IS LOCATED WITHIN 500 FEET OF SQUIRES PARK AND APPLICANT HAS PROVIDED USABLE OPEN SPACES ON-SITE THAT WILL BE BETTER BY THE EXPECTANT FAMILY DEMOGRAPHIC, INCLUDING AMENITIES SUCH AS A LANDSCAPED GARDEN AREA WITH DEDICATED SEATING, A BARBEQUE PATIO AND LOUNGE AREA WITH GRILLS, POOL, AND A CHILDREN'S PLAYGROUND.

20. PARKING LOT LANDSCAPING ISLANDS:

REQUIREMENT NOT MET: PROPER PROVISION/QUANTITY, SPACING, AND PLANTING OF PARKING LOT LANDSCAPE ISLANDS NOT PROVIDED.

JUSTIFICATION: PARKING LOT LANDSCAPING ISLANDS ARE PROVIDED AT THE LENGTH OF EACH BUILDING, BUT THE VISUAL SCALE OF PARKING IS MITIGATED THROUGH THE DRIVE WAY DESIGN AND CLUBHOUSE LOCATION. ON THE EAST SIDE OF THE SITE, THE DRIVEWAY JOGS SOUTH TO BREAK UP THE VISUAL PARKING MASS. ON THE WEST SIDE OF THE SITE, THE CLUBHOUSE LOCATION WITHIN TWO PARKING AISLES BREAKS UP THE VISUAL PARKING MASS. WHILE SELECT PARKING AISLES ARE LONGER THAN TYPICAL THEY ARE 1) WITHIN EXISTING PRECEDENT IN THE CITY OF WESTMINSTER, 2) DO NOT FACE PUBLIC RIGHT OF WAY, AND 3) ARE MITIGATED THROUGH

INTELLIGENT DESIGN INCLUDING ENHANCED LANDSCAPING WITH TREE AND SHRUB PLANTINGS WHICH EXCEED REQUIRED MINIMUMS BY THREE TIMES.

21. SCREENING OF PARKING:

REQUIREMENT NOT MET: PROVISION OF LANDSCAPED BERMS TO SCREEN PARKING AREAS FROM ADJACENT DEVELOPMENTS AND STREETS.

JUSTIFICATION: DEVELOPMENT'S PARKING IS INTERIOR TO THE SITE WITH SCREENING BEING PROVIDED ON THE NORTH AND SOUTH PROPERTY LINES BY BUILDINGS. TO THE WEST AND EAST, PARKING IS SCREENED BY A COMBINATION OF BUILDINGS AND LANDSCAPING. ALONG THE SHARED PROPERTY BOUNDARY WITH WISHBONE RESTAURANT, SCREENING IS PROVIDED BY AN EXISTING CINDER BLOCK WALL FIVE FEET IN HEIGHT AND EXISTING MATURE LANDSCAPING. FURTHER, ENHANCED LANDSCAPING IS PROVIDED SITE-WIDE TO IMPROVE OVERALL AESTHETIC BETWEEN BUILDING-PARKING INTERACTION AND PARKING-STREET INTERACTION. MINIMUM TREE AND SHRUB PLANTINGS EXCEED REQUIRED MINIMUMS BY THREE TIMES TO PROVIDE ADDITIONAL SCREENING AND BETTER OVERALL AESTHETIC.

22. REMOVAL OF BILLBOARD:

REQUIREMENT NOT MET: BILLBOARD IS A NON-CONFORMING SIGN THAT SHOULD BE REMOVED AS A CONDITION OF DEVELOPMENT.

JUSTIFICATION: PROPERTY OWNER WILL REMOVE SIGN AFTER LEASE TERMINATION IN 2021.

23. MULTI-USE PATHS:

REQUIREMENT NOT MET: NO 10' WIDE MULTI-USE PATHS WITHIN PROJECT.

JUSTIFICATION: AS AN INFILL DEVELOPMENT PROJECT, THE OPPORTUNITY FOR NEW PATHS IS LIMITED BY EXISTING CONDITIONS. AS AN ALTERNATIVE, THE PROJECT HAS PROVIDED ON-SITE LANDSCAPED PATHWAYS AND SEATING AS A DESTINATION RATHER THAN A MULTI-USE PATH.

Public Comments Received: May 15 to August 8, 2019

The following comments were received via email by Staff (with date-of-receipt listed). Staff attempted to provide concise answers to specific questions posed, where possible. All inquiries were acknowledged via return email, which occasionally generated follow-up inquiries.

Mark & Jean Whitney (5/15 and 5/21):

"I really don't care about the apartments either way. Just more interested in the [traffic] flow pattern and getting a turn lane in at 97th. I know there is politics involved in everything. I know the church is bound to make much money on this sale/approval but I am only interested in the safety/traffic flow issue."

James Hensinger (5/15 and 5/21):

(Mr. Hensinger first noted that he had missed the Planning Commission Meeting on May 14th, and asked for a synopsis of the proposal being considered. Once he received this, he asked the following questions:)

"Thank you very much for the response. I appreciate your thoroughness in addressing my questions.

"Can you provide a link to the definitions of the various zoning classifications being applied in this request?

"I can understand the re-zoning of the water tower. It is always nice to dot the "I's," and keep the city paperwork in order. This change seems to be only a "clean up the paperwork" activity.

"The re-zoning of the Wishbone property seems unnecessary for its present use. How does the change affect the Restaurant? Does the change make the property more useful to future developers?

"My primary concern is with the R-36 designation. I believe there is an Excel 75' easement along the north property line. Is the easement outside the lots under consideration? Is there a map showing the easement, and the numbered lots?

"I live in NorthPark East, but not within three hundred feet of the lots being considered for a zoning change. Is there a way to ensure that I will receive notifications of meetings? Can you provide a contact for the developer, or can you add me to a distribution list? My contact information is below.

"I and several of my neighbors are concerned about the future use of the property and the potential impacts on our community. Is attending the meetings the only way for us to express our concern?"

Lorraine Sherry (5/15 and 5/16):

"Please consider entry/exit onto Federal Blvd. and rush hour traffic. Residential use is OK, but keep it in the context of the neighborhood - two story homes or townhomes, no Soviet skyscrapers or slot homes. Please, the City is now ruining 92nd & Sheridan with those

monstrosity buildings – it’s turning into a cityscape, not a suburban close-knit neighborhood that’s existed for ~35 years. This is a quiet, peaceful neighborhood where people walk the greenspaces or to the supermarket and socialize with each other. What would you do with all those cars? All that exhaust? All that noise? Make it homeowner-owned not rental. We’d love more townhomes to fill out the space by the south fence.

“I read the verbose document. We at NPE received NO invitation from the City to attend the meeting. Americans aspire to own their homes. There will be no townhomes at this St. Marks Village, nor owner-occupied condos. Those apartments will be FOR RENT. And to fit 216 rental apartments in that small space will mean building out to the edges of the parcel. No discussion of the height of the proposed buildings. Note that some new apartment houses on Sheridan north of 92nd are 5 stories high. No discussion of greenspace, walkways, medians, lawns that allow water to perc into the soil, trees, etc. Added traffic - families with small children and people with diminished mobility issues aren't going to give up their cars that easily, transit or no. Will underground parking hold 216 cars? In NPE, we have 2-car garages. This bright idea will have a huge impact on all 511 homeowners in NPE. It is not in the context of our neighborhood. Residential is OK, affordability is OK, but not the way the document describes.”

Michael and Kaye Patterson (5/16):

“To whom it may concern;

“This area that the city is considering for a very dense low income apartment area, by the Wishbone Restaurant, seems to be a very bad idea in so many ways.

“This particular area is a very congested piece of land to add hundreds of more drivers using Federal Blvd. as its main thoroughfare. It is also an area of town that has seen a significant uptick in crime. What is the impact on the local schools! Funny that our water cost have greatly increased yet the city wants to add high density residential areas. These areas soon could become run down communities and eyesores.

“Our City Council seems eager to take as many low income dense communities as possible to fill vacant lots in town. They seem unconcerned with the quality of current residence living conditions. It seems to me that Westminster City Council may have some underlying reasons for wanting to fill every available piece of land with large housing projects.

“Please reconsider this small piece of land for this type of development. Westminster has always been a very nice community but the City Council seems bent on changing that.”

Tamar Beaman (5/17):

“I live at the NorthPark neighborhood, (in the townhome section) which spans from Federal to Lowell and from 102nd south to 98th. The south side of our collective property of townhomes and single family homes, borders the vacant lot that exists between Wishbone Restaurant and the big water tower and another tower being constructed. One of our retired residents learned, after reports of a meeting held May 14, that there are plans to develop the vacant lot to the south of NorthPark. Specifically, there's some concern among our residents about the proposed rezoning of this 6 acre lot to R-36 in order to build a 216 unit low-income apartment complex called St. Mark Village Apartments.

“Among the chief concerns are:

"1. How many stories are these apartments proposed to be? The fear is they will be several stories high which will not only drastically change the appearance of the neighborhood views (by blocking them) but will negatively infringe on the privacy of the Northpark residents living along the property line by people being able to see into their yards and our common areas.

"2. What's it going to look like? How much of the acreage will be used up by buildings, parking lots, and greenspace? Is there an architectural drawing of the proposed complex from both street view and birds-eye view? Can we see that somewhere?

"3. 216 units seems like a very high density population to put on such a small lot. If each apartment has at least 2 people, then you can double the amount of cars to 432; what is the plan to deal with the additional traffic flow through the immediate neighborhood?

"4. How will all this extra population affect the teacher student ratio at the local schools?

"5. Why weren't residents of NorthPark and/or its property managers for NorthPark (Advance HOA for the townhomes) notified about this in time to get the word out for us to attend the public comment meeting that was held on/about May 14, 2019? We only learned about it after the fact. We are a shared community with common areas so it doesn't just affect neighbors on the south side of NorthPark, it affects all of us.

"6. When and where is the next public comment meeting? We want to learn more and comment publicly.

"7. The proposed apartments are low-income and/or low-rent; does this include Section 8 voucher recipients and/or Section 8 project-based funding? What government entity will be funding/regulating this and who will be the onsite management?

"This high density increase in population so close to our NorthPark townhome and SF home complex doesn't just affect the neighbors on the south side of our collective property, it potentially affects all of us since we all walk the trails and enjoy the beauty and quiet of the area. Many apartment complexes are not well designed to fit into the existing neighborhood aesthetics, so there is concern that this will be a high rise or multistory which will destroy the ambiance of the neighborhood. It certainly will add more traffic along Federal, Lowell and adjoining roads, resulting in more light changes that inhibit traffic flow along Federal. Unfortunately too, many times the overcrowding in low-rent apartments with high density population adds an increase to neighborhood vandalism and crime.

"I experienced this when I used to live in Thornton at a town home complex that was across the street from Aztec Villa Apartments and Parkview Terrace Apartments, the majority of which were Section 8 tenants. In the 17 years I owned my home there, I saw a Dramatic increase in population at the apartments, many of which were occupied by more than one family. This overcrowding leads to a lot of "hanging in the hood" behavior, noisy activity in the parking lots with music blaring, cars revving up and being worked on, bored teens doing graffiti on our fences and townhome walls, and an increase in other crimes, especially car break-ins, and drug-related crimes. The Thornton Police were a constant presence in the neighborhood, which soon got a negative reputation. The noise and the traffic were the reason I had to sell my home. I deliberately chose the NorthPark neighborhood in Westminster because it was quiet, pretty and mostly free of through traffic. I am afraid that high density apartments so close by will destroy all that.

"I would appreciate any of the above questions you can answer. If there are any public documents we can view of these proposed apartments and how they are envisioned to look and operate, and fit into the community, please let me know."

Myrna Lacina (5/18):

"This is to inform you that I am NOT in favor of a 216 unit multi housing development going up there at St Marks Village. It needs to be single family homes or townhomes which are owner occupied. Anything else is inappropriate there."

Sheran and Rich Hehn (5/20):

"We are writing to you regarding our disapproval of rezoning to build apartments next to the Wishbone Restaurant and water towers on Federal Blvd.

"Why not single family homes that would have lawns, trees and shrubs to help with CO2 and climate change.

"Single family homes would increase our Westminster tax base, also increasing surrounding property values. Single family homes would place less demands on our water, sewer and schools. Apartments would add a significant amount of burden to all our infrastructures and traffic to an already burdened Federal Ave. Has a study been done to evaluate the impact?"

"This rezoning proposal should have been posted in the Northpark news letter to inform the neighborhood. This does not feel right that we are hearing about this through a neighbor."

Lorraine Sherry (5/22):

"Many thanks for addressing my concerns in my e-mails to you. I appreciate your response. I would like to attend some of those meetings. But I am confused about some of the issues, I have lots of questions, and I am looking for clarification. My understanding is that these meetings are for decision making rather than for Q/A and clarification by affected, current residents.

1. "Setback: As a member of NPE (NorthPark East) Landscape Advisory Committee, I have a copy of the ODP map for Filing 14, but I am not very good at interpreting what I see on official maps. I do know that Excel Energy's 75 foot easement cannot be built on, but it's not clear to me whether the St. Mark's Village setback from NPE's property line is 50 feet or some other number.
2. "Zoning: In the city documents online, I see that R36 buildings could run 3 to 5 stories high, and would be more appropriate near other high-density areas, such as the (under construction) new city center or near transit hubs like the new light rail line. NPE has R3.5 to R8 zoning, and the condo development by the elementary school schoolyard has R18. NPE is a quiet residential neighborhood. Wouldn't R18 be a more sensible upper limit for residential zoning for St. Mark's Village rather than R36? Townhomes or condos would be more appropriate than tall, densely occupied buildings. Can this be considered at the zoning meeting? Clearly, "commercial" is appropriate for Wishbone and "public" for the water tower area, but R36 is very high compared to neighboring

residential subdivisions, especially the single family homes on the three “courts” at the south end of NPE.

3. “Bike path: Is the bike path mentioned in the online document the pedestrian and dog walk path in the easement, that runs along the NPE side of the NPE south fence? That fence was built by Writer Corporation and rebuilt in the same location at NPE’s expense when the original fence deteriorated.
4. “Park: Is the park mentioned in the online document Squire’s Park? Would families and children have to go through the school yard to get to Squires Park? How else would they access it on foot? If by car, where would they park?
5. “Recreation: What amenities would be included in St. Mark’s Village? I would hope that families would have their own recreation area and not be tempted to cross subdivision boundaries to use NPE’s pool and recreation area. We have had ongoing problems with non-residents cutting through our common areas and hopping over the NPE pool fence to avoid the card-reader gate.
6. “Transit: To my knowledge is only the local 31 bus. I have ridden it to downtown. The closest park and ride to major bus lines is behind city hall at 92nd and Sheridan, not walking distance from NPE. And the new light rail is at 72nd, certainly not walking distance. The closest hospital is down at 84th street. So families would need at least one family car, possibly two, especially if both parents work and there are teenagers in the household. Where would 216 cars park? How would this affect current traffic patterns, especially at rush hour? Would a large number of St. Mark’s Village residents’ cars then be cutting through NPE streets to get to the school, Squires park and King Soopers?

“I’ve tried to do my research, would like to attend meetings, but am timid about speaking out because I am simply not sure I understand all the issues involved with high density public housing right across from our quiet neighborhood. I thank you for your time. I am sure you are a busy man. Any clarification would be very much appreciated.”

Lorraine Sherry (6/2):

“I have been in touch with Mr. German and so has my friend Tamar Dexter and several of our other NorthPark East residents. I am OK with re-zoning Wishbone and the water towers, but NOT with the proposed “St. Mark’s Village” rentals. I would like to find out more about this proposed high-density low-income apartment house complex abutting our south fence at NorthPark East. This will be a VERY HIGH population density compared with our single-family homes and 2-story townhomes! I am particularly concerned about how close the buildings, trash pickup, and noise will be to our south fence. I have three concerns.

1. “Our population density is R3.5 for the single family homes and R8 for the townhomes. The proposed density for the 3-story high apartment houses is R36. This is wholly incompatible with our 30-year old quiet, owner-occupied subdivision. Our main “demographic” is retirees aging in place, who use the common areas for play, relaxation, and the south sidewalk for dog walking or their own daily walks.
 - a. ?? How can we as homeowners request the City to lower the apartment density to maybe R18??
2. “Our southernmost townhomes (and their patios and lawn/common areas) abut the foot path, used primarily by our residents for their daily walks or dog walks. No bikes or

scooters. The foot path lies wholly inside NorthPark East's south fence, on NorthPark East property. Some of our townhomes are very close to the south fence. We have had an ongoing battle with graffiti painted by non-residents on our south fence. It's also easy for non-resident teenagers to hop the fence onto our property.

- a. ?? How will we be able to secure our property and keep non-residents from trespassing on NPE common areas??
3. "?? How does the City intend to deal with the huge new crush of traffic entering Federal Blvd. from 97th during rush hours??"
 - a. ??Will parents try to cut through NorthPark East to drive their kids to school??

"I plan to attend the City Council meeting on June 10th, at 7 PM at City Hall. If this changes, will we be notified? I also plan to attend the July 23rd meeting about the ODP. I would like more information about the proposed PDP and ODP."

Lorraine Sherry (6/5):

"Today, we measured the distances from the numbered NorthPark East townhome pads (slabs) shown on the vicinity map and the south fence.

"After comparing these measurements with the ODP (revised 11/12/93), it has come to my attention that there is a discrepancy between the actual location of the NorthPark East south fence and the 75 foot wide utility easement that we understand is required by law. Evidently the NorthPark East property line lies further south than the south fence. Please check to verify that these numbers are correct.

#3420 – 65 feet
#3410 – 65 feet
#3380 – 61 feet
#3360 – 61 feet
#3330 – 61 feet
#3210 – 64 feet
#3260 – 71 feet"

Lynn Yoder (6/6):

"Thanks you for your reply. That helped answered my questions.

"This project directly affects me because I live right behind the property line in North park East. I am not against progress growth for Westminster but this projected proposal has so many negative

Issues for our city that I am scared to death of having low income property individuals looking right into my front door. The proposed project zoning does not fit this area.

"Negative Issues:

"Parking. 216 family units all stuffed into such a small area. Statics shows that every family has 2 cars per household. That is 432 vehicle in this complex that is impossible to find parking for that many.

They will have to park on both sides of 97th st which is very narrow. Think about this, 432 cars leaving this space from just one exit point. That will not work. This project does not fit this area for controlled growth. I think Wishbone restaurant better wake up because they will be parking in

their lot even though no parking sign are posted. People don't respect other or property anymore, that a sad day in america. They do what they want.

"Traffic flow on 97th. Trying to get that many cars onto Federal North bound without a traffic light will cause many accidents. Another traffic light at 97 th and Federal is not the solution. that would give us 6 traffic light from from 104 th south to this intersection. We don't need another traffic light on Federal in this area. I know you are familiar how people turn now into Wishbone restaurant from north bound Federal. They come to the light at 98th Federal and make a u turn in our resident and return to Federal southbound. I have sat at that light behind six cars and by the way it takes 2 light cycles to make it thru because it only lets 3 car max at one light. As I turned in 3 cars ahead of me all made the u turn and out. Unacceptable traffic flow. Please help!!

"Affordable Housing. I call it low income housing. This type of housing (R-36) create so many issues that a city once building a project like this never recovers from the eyesore that is causes.

High transit individual. Move to the state,, stay 6 months tear the place up and move on. Leaving behind many problems.

Drug problems, noise is all hours of the day, kids everywhere. These type of housing units leave trash because they have no skin in the game so they don't care what they leave behind.

Theft issues. People live so close to each other that they quarrel and that leads to shooting.

Look what is happening in this country of ours. Killings because people are so stressed out about issues of overcrowding conditions. As you know, we are finding that many projects like this have issues with 4 families living one unit to make ends meet. Too many people for such a small space.

This type of housing does not fit in this area. We have a very nice quite place where we live and we want to keep it that way. Move this project to the old Nolans RV place down by the tracks on Federal.

"Property value I fully expect that a low income property built as requested will lower all our property values in North Park.

"Federal Blvd. I hate to say this but I have to be honest with you. I will not drive south on Federal from 98 th ave after dark. I fear for my safety as stoped at 92 nd and 88th all the way down to highway 76.

this part of Federal is an eye sore for Westminster. Mom and pop LQ stores, pot shops, ugly tire stores with tires everywhere, marijuana dispensaries, old food trucks with creepy homeless people all over the place. When we have visitors that come, I tell them to never come up federal at anytime during the day always bypass this area.

"Excel Energy I understand the developer are trying to get an variance for the overhead lines so they can build right next to the property line. Should they be awarded this variance this would be a very dangerous mistake.

Excel Energy for years have butchered our trees where I live because they exceed the fifty foot variance. Cut down 5 next to my house. Why all of a sudden its ok to allow a developer to build a three story building within 20 feet of these lines. It's all about the money.If they build like planned on the property line 3 story building would rise up to 35 ft tall and be within 20 feet of those lines. Someone will get killed.

“Mr German, Let me ask you the Planning Division and the City Council of Westminster a question. If anyone of this team lived where I do, right across the fence from this proposal, would you vote to approve it as written?

Sorry to say, but I know not one of this team would vote to have this project in their backyard. Help us out here we are the people of Westminster and we care about thing like this.

“COME ON CITY OF WESTMINSTER, YOU ARE BETTER THEN THIS! PLEASE DON" T SELL US DOWN THE RIVER.

“Thank you”

James Speed Hensinger (6/10):

“I started a thread on Nextdoor.com re the re-zoning of the property next to the Wishbone restaurant to R-36. In case you don't know about the thread, here is the link. I don't know if you will need to join to read the postings. I also created two event pages on NextDoor.com. One to announce the meeting date change from June 10th to the 24th, and one for the actual meeting on June 24th. Does the City use Nextdoor.com for public announcements? I know Westminster's Police Dept. is active on NextDoor.

“https://nextdoor.com/news_feed/?post=111353771&is=notification_center

“No one has posted in favor of the proposal.

“I know that it may be unorthodox, but would you consider adding this information to the City Council member's briefing for the June 24th meeting?

Thank you.”

Lorraine Sherry (6/10):

“Thank you very much for both of your responses, Mr. German. I do plan to attend the public hearing on June 24th. Thank you for the invitation and for all your information.”

Larry and Myrna Lacina (6/10):

“We are NOT in favor of the zoning change in order to build the 216 affordable housing development at 97th and Federal Blvd. We are not in favor of building this complex at that location.

“We live in North Park East which is very close to this complex they are trying to get passed through.”

Lynn Yoder (6/11):

“Thanks you for your response especially the part with the assurance that nothing would violate the 75' easement request. Be assured, I will attend every meeting with many other residents from the Northpark area. Thanks again and make it a good day.”

Jonathan Rash (6/13):

"I am a homeowner and resident in the North Park Subdivision at Federal and 104th in Westminster. I am writing in regard to the proposed housing project planned for the vacant lot west of the Wishbone Restaurant on 97th and Federal, just south of the Northpark fence line.

"I am a 100% disabled, and retired Marine. My wife and I bought a townhome in Northpark in 2016 and we absolutely love our dream home and the neighborhood we live in. It's tidy, clean, relatively free from crime, and our investment here is doing very well as property values are steadily climbing making our decision to move to Westminster a very good one. Except now, I hear you are wanting to build a "low income" housing project on our doorstep which is of great concern to me. I have not always lived in nice neighborhoods like this. Before joining the Marines I worked manual labor jobs starting out in 1978 making only \$3.50 an hour. I have worked digging ditches, driving supply trucks and labor for construction companies never making more than minimum wage and seldom having any benefits. As a result, I have lived in some less than well off neighborhoods, but I took care of my family. My children have been beaten up, had their bicycles stolen out from under them etc. But through it, all my wife and I never complained or asked for anything and we never took a single penny of public funds or any public help.

"It has taken us almost 40 years of hard work to be able to buy the home we have now. Each move we made, each job we took added to our skills and increased the value we gave our employers. During all those years I worked two jobs and was also in the Marine Corps reserves. My wife and I worked hard to provide the best life possible for our two boys and to improve our lives along the way. I was also activated twice after 9/11 and was sent to Iraq. In 2006 I suffered a severe back injury while on active duty at Camp Pendleton, and that is why as stated above I am 100% disabled.

"I tell you all this because I am now very concerned about what could possibly happen to the home and neighborhood my wife and I have worked and sacrificed our whole lives for. If you proceed with this development it will only be a short matter of time before there will be trash and graffiti all along Federal Ave, between 97th and 104th, the crime rate will undoubtedly increase, and as a result property values will decline. People like myself and my wife who saved and sacrificed so much for so long, to be where we are today, will lose what we have worked so hard for.

"I urge you to find another more suitable location for this housing project.

"*You cannot strengthen the weak by weakening the strong.

* You cannot help little men by tearing down big men.

* You cannot lift the wage earner by pulling down the wage payer.

* You cannot help the poor by destroying the rich."

Tamar Beaman (6/15):

"I live at NorthPark Townhomes and was planning on attending the June 10 hearing regarding the rezoning of the subject property to R36 so that a developer can build a 216-unit affordable apartment complex. The meeting was rescheduled to June 24 and unfortunately I cannot attend due to a medical procedure that day. So I am hereby registering my objections to this development.

"1. This is too small of a location to have this density of population essentially wedged in between existing neighborhoods of single family homes and our townhomes at NorthPark. I understand a variance is requested to having the buildings offset only 15 feet from our NP south fence, rather than the usual 50 feet. This is too close! Also, with 3 story apartments, and the fact that they are uphill from NP, it will feel like the buildings are looming over us at NP, breathing down our necks. The residents at these apartments will be able to look down into our homes and yards and open space, literally violating our privacy at NP.

"2. Noise. With such an increase in population density comes noise. Noise from construction of the apartments, noise from potentially 432 more vehicles of the residents PLUS even more cars belonging to guests, noise from people hanging outside talking, blasting music, etc. Typically apartment dwellers feel cooped up and thus they congregate outside, usually not quietly either. Noises from the banging and grinding of garbage trucks emptying dumpsters and don't always wait till after 7am to do their rounds.

"3. Increased traffic flow onto Federal and Lowell for general purposes, increased traffic through NP's residential streets to get to Rocky Mountain Elementary School. These areas are already congested enough. You can't drive down Federal without having to stop at every light from people driving up to the sideroads and triggering the lights. People will cut through our property to head over to Lowell because it has less lights. And naturally, there will be increased traffic by the new apartment dwellers of parents driving their kids to school at RMN (because God forbid anyone ever walk to school anymore).

"4. Kids will climb our fence and try to sneak into our swimming pools. This was a constant problem at my former townhouse complex which was surrounded by densely populated apartments. Kids were also tearing up our playgrounds and basketball court. And beyond wear and tear, there was a destructive element too by older kids, teens and adults - vandalism of cars, graffiti on walls and fences, egg-throwing and the like.

"5. All of this brings down our property values at NP.

"I speak from personal experience, not fear. I moved from my former noisy, over-populated neighborhood in Thornton that was a mix of owner-occupied townhomes and apartments. The apartments were Section 8 aka affordable, yet still families were double-occupying them. This prompted many homeowners to sell and the buyers were investors who turned them around and used them as rentals. All of the aforementioned problems made it unbearable. I had to sleep with earplugs every night, I couldn't enjoy a quiet evening on my porch or patio, we had to upgrade our security system after being broken into, and we had to purchase a security camera to monitor our cars parked in our carports. Our fences were climbed, broken, graffitied. Our neighborhood trashed. What once was a reasonably pleasant and respectful neighborhood became chaotic.

"I moved to NorthPark in Westminster because it is quiet here! And because the neighbors are mostly fellow homeowners that respect each other with courtesy by not having noisy vehicles, noisy music and in-your-face attitudes. Please don't ruin that! Please don't disturb our peace.

"Affordable housing needs some breathing room and the lot in question (between Wishbone and the Water Towers) is too small to allow that breathing space. There is inadequate buffer space around it - it would be right on top of our townhomes and single family homes at NorthPark. If someone wants to develop it, they should develop single family homes there. Better yet, leave it as open space."

Patricia Ball (6/24):

“Dear Westminster City Council Members and Planning Commission:

“I am writing this letter as a concerned neighbor in the NorthPark East housing development. I am writing to express my family’s opposition to the application for an amendment to the Comprehensive Plan for properties located at the northwest corner of Federal Blvd. and 97th Avenue.

“Traffic is a huge concern! What is the plan for entry/exit from Federal Blvd? Rush hour traffic is already a nightmare on Federal Blvd. and also on 104th and 120th Avenues. The relatively new traffic light at 98th and Federal messes up traffic flow and has an unnecessary red arrow that prevents us from turning left into our neighborhood when there is no oncoming traffic. By the time there's a green arrow, there is finally oncoming traffic, which then has to stop. If there were a blinking arrow, or an arrow that turns yellow then disappears, then oncoming traffic would not need to be stopped as often. Adding high-density housing in that property will add to already too-congested roads in the area.

“Safety and privacy considerations...we have seen many more loiterers (some quite scary-looking, or drug-users) in the area in recent years. I now feel anxiety whenever I have to enter the King Soopers parking lot, due to tons of traffic, aggressive and hostile drivers, people approaching cars to ask for handouts, etc. My car has been backed into once while I was in it, and hit/scraped a couple of other times while I was in the grocery store. Additionally, I am a single mother with four kids. Apartment buildings so close to the other side of the fence will be able to see into my house, our yards, our cars, everything!! I already experience significant noise pollution from Federal Blvd. This proposal looks to add even more noise directly to the south of my house.

“Speaking of King Soopers, by the time I can get there after work or on the weekend, sometimes they are even out of the items for which I'm shopping. This was not a problem when I first moved to North Park 10 years ago.

“Property values...WHY does it have to be high-density low-income housing? This is NOT consistent with the rest of the neighborhood on the west side of Federal Blvd. (NorthPark, NorthPark East, Hollypark, Environs, etc.! I have worked very hard to buy a house on my own in Westminster for me and my four children. I just refinanced my home to pay for some big projects and appliance updates for my home. I am extremely concerned that our property values will plummet and I will be upside-down on my home. I'm also very concerned that it will make my home difficult to sell! If you must develop that space, we would not be opposed to low density residential housing, which would be more consistent with the neighboring NorthPark neighborhood.

“Thank you for your consideration.”

Lori Goldstein (President, North Park HOA) (6/25):

“Hello Mayor and Counsel;

“Thank you for the wealth of information you were able to provide us last night at the City Counsel meeting. It was very thorough and informative.

"I did not want to get up to speak because you had so many others ready and willing, but I do want to go on the record with my concerns.

"First of all, I am all in on providing living opportunities for those who cannot easily find affordable housing.

I have two concerns. One being the space is not very big, if this space is zoned R36 (I think that is the right term) that is a lot of people in a small space. The Environs is R18. I am not sure about North Park East, but it appears to be about the same. The second issue is the traffic. If CDOT is not being cooperative, please don't consider building on it until they do. 97th Ave runs right through the Environs. The traffic impacts will be horrendous. Already, there are the issues on 98th where people do U turns, or illegal left turns from Federal to 97th. There needs to be a plan (in my opinion) before the building begins.

Adding the development of Holly Park to the mix will have even more impact on traffic as it is. I know that should have been built up at least 15 years ago, so I hope the space can accommodate that plan.

"I ask that you be thoughtful in your decisions for re-zoning. If you have not visited this space, please do so. Make sure you incorporate the traffic issues and the space issues in your decision. Please do not rush into anything for the sake of having more affordable housing. Make a decision that will offer a quality place where people can enjoy living."

James Speed Hensinger (6/25):

"Good evening.

"Tonight, I am interested in speaking only about the St Mark apartment development portion of this re-zoning bill.

"I'm here tonight to urge the Council not to approve re-zoning Lots #11, 12, 45, 46, 47, & 48 to R-36 for the following reasons:

"I believe the map in your packets showing the "BEFORE" zoning status of these properties on page 9 of 28 may be in error. It shows the lots as having R-36 zoning. The correct current zoning is Multi-Use, which requires commercial development in conjunction with a 36 dwellings per residential classification.

"This is a minor point, but it makes one wonder.

"I believe that a development of 36 dwellings per acre whether it is under Multi-Use or R-36 zoning is in appropriate for this part of our community.

"Some of my concerns are:

"**Traffic** 216 units will probably add more than one car per unit to the traffic load on Federal Blvd. Since some of the proposed units are one bedroom, and some three bedrooms, as a reasonable guesstimate, figure 1.5 cars per unit or 324 cars. This is a lot of vehicles to provide parking for and access to 97th Ave. On Federal traffic is already a problem in the area north of 92nd to 104th during rush hour. Federal is a heavily used commuter route.

“Public transportation. RTD has only a single route, #31, serving the area. If this is to be affordable housing, won't that place a greater burden on public transportation than other kinds of housing? How will people get to and from work with only a single bus route? Conformity with the community. A quick look at the maps in your packets, will show you that there are no other properties nearby zoned for R-36. Indeed, there are several areas including the North Park East community where I live, zoned for R-3.5. Juxtaposing R-36 against R-3.5 seems inappropriate, and I question why the properties were ever considered for high-density zoning such as R-36.

“A High-density residential development of affordable housing should be sited near to significant transportation resources such as a light rail station, not in an area with restricted traffic flow and limited public transportation.

“I ask the council not to pass the bill as presented, and to instruct the planning department to consider downgrading the zoning to R-18.”

Don Fiddes (6/26 and 6/29):

“I understand that growth is inevitable and that there are no easy answers. I am all in on the new downtown and I'm glad that the “old” downtown is being promoted as “historic” but the entire front range is growing like never before. I fear that transportation is not keeping pace and open space (always at the top of surveys as what makes Westminster great) is being compromised.

I know that Westminster Forward is a comprehensive plan to address the big picture but I think we still need to look at each project more closely.

Rather than open space being considered as a percentage of total land we might want to look at it as ratio per person.”

“Good evening! I am writing you in regards to two new developments at Federal and 97th Ave. I fully support the home development on the south side of 97th provided it complements (scale) the existing units. The folks who originally bought into that development are so deserving of having that project being completed!

“However, I have major concerns in regards to the proposed project on the north side of 97th between the new water tower and the Wishbone restaurant. It is not because it is going to be developed but because the project it is going to be more than two stories tall and accommodate more than 200 units! This is far to dense for this space and there is not a single development on Federal Blvd. from I-70 to 120th (and beyond) that exceeds two stories. This is the exact same issue that was rejected at Sheridan and 112th only a short while ago!”

“I also find it ironic that we are constantly told to conserve water, that with climate change we cannot depend on Mother Nature to provide a constant supply of water yet we continue to build, build, build! In addition we do not have a transportation system to handle the volume we currently have.

I have been supportive of the new downtown and believe that four to five storey units are appropriate for that area, but do we need to do this on every available parcel of land?

“Please remember the lyric “you don't know what you had till it's gone”!!!

I am looking for your support to reduce the density of this project. My neighbors also support this position.

“Thank you for your sincere consideration.”

Paul Gannon (6/27):

"I am writing to you today as a deeply concerned resident of the NorthPark East community. I attended the city hall meeting on 6/24 and my Home Owners Association meeting on 6/25. Based on this information and my own due diligence and research I have concluded that this proposal is ill advised. The size and the scope of this project are grossly inappropriate for the proposed location.

"There are several concerns that I have. The most obvious is the tract of land to support such a project is not large enough. When you add up the amount of people, cars, and needed parking there simply is not enough room for ample living comfort. Undoubtedly this three-story behemoth will become an obvious eye sore and the beginning of cancerous form of urban blight that will lead to spiraling home values in NorthPark.

"Furthermore, the inability of the residents of this proposed community will be unable to make a left turn (proceed North on Federal Blvd) out of their own community! Ridiculous. The two closest grocery stores are King Supers and Safeway, both located on 104th & Federal. Most people will want to use the closest shopping available, this will add to the traffic congestion and a much greater incident of automobile accidents for traffic on Federal Blvd. This represents a clear and present danger to public safety. Our safety and the safety of our children cannot be ignored. I was not satisfied with the traffic studies presented at the City Hall meeting. Not enough consideration was giving to public safety.

"In addition, I was unconvinced by the representative of the builder that they have taken into consideration any other opinions other than their own.

Finally, I am not opposed to affordable housing on principal, however, I am opposed to short sighted non-strategic proposals based solely on the motivation for profits. Again, **I stand firmly against the St Mark Village project.**"

Del and Mary Stansbery (6/27):

"My wife and I live in North Park and are not against the affordable housing. We will be attending the July 2 meeting in support of the planned affordable housing. We both work at the Westminster United Methodist Food Bank and see the working poor come thru all the time and understand the need for this"

Amy and Randy Lodes (6/30):

"Dear Mr. Mayor and Esteemed Council Members,

"My name is Amy Lodes and I live at 10123 Grove Loop Unit B in the NorthPark East neighborhood. I attended the June 24th City Council Meeting and had the opportunity to voice my dissent for this project. I appreciate your thoughtful consideration in deferring the vote on the rezoning request based on density and traffic concerns.

"I listened as the developer gave all sorts of reasons why this project should move forward and his impassioned plea that everyone deserves a place to live. I, like most of the other residents that spoke, firmly believe in community and having roots. A safe and secure place to live is a right all of us deserve.

“What he failed to mention – and I am not even certain you are aware as this was never brought up to Council on June 24th – is that the developer is SUING the NorthPark East HOA over the fence that borders his land and our neighborhood. This lawsuit was filed in Adams County back in April 2019 and our HOA is just now informing residents of this lawsuit. A copy of which I am attaching for you.

“This non-disclosure was in bad faith and drastically alters the outcome for NorthPark East residents beyond just a 3 story, high-density affordable housing project! The developer is also asking for the HOA to pay all attorneys and court costs as it relates to the lawsuit – this could go into the tens, if not hundreds of thousands of dollars.

“Do you realize what this means for 480+ HOMEOWNERS in your city?? We could be assessed thousands of dollars in a special assessment by our HOA to pay for the developer’s lawsuit (should they win) on a project that the majority of NorthPark East residents vehemently oppose!!

“I cannot imagine that the spirit of new projects and development in Westminster is one that rewards one party (the developer) and punishes another (the NPE residents).

“I believe that time is of essence in understanding the full scope of what this developer is doing to the NorthPark East residents and neighborhood. The HOA Board of Directors is meeting on July 2nd at 7:30pm, immediately following the developers “meet and greet” at 6pm, to vote on whether to take a settlement from the developer or fight the lawsuit.

“I implore you to think of the consequences to nearly 500 HOMEOWNERS in NorthPark East vs. the developers 216 affordable housing units for RENTERS (people who will typically pass through the neighborhood in 6 months – 2 years). I have owned my home in NorthPark East for 5 ½ years, many of the folks that spoke at Council on June 24th, have lived there since the development began in 1999 (or earlier as I do not know the exact date the development began) – 30 years of time, money and resources spent building a life, paying off a home – only to have a developer swoop in and threaten to take that away from us.

“He should be ashamed as he did NOT act in good faith at the June 24th Council meeting by withholding the fact that he is suing our HOA.

“I would appreciate if this letter could be entered into public record. I will also be there on July 8th to read this letter into record as well. We still strongly oppose the St. Marks Village project!”

Mark and Jean Whitney (7/1):

“Thanks Mr. German. I just thought it was interesting it was at the Catholic Church and not a neutral site? I have also been following the law suit the developer has against North Park East.

“I see the church is getting a petition going to have their members sign it to be in favor of the development. If I was city council member I think I would put more weight on people who live in NPE and are directly living there and are affected by the development, than members of the church who do not live in the area and are not affected by it--who knows.”

“Interesting”

Betty Longi (7/3):

“I volunteer at Westminster food bank, Lowell and 76th. Wanted to let you know that I am all for the pending affordable housing project in the area. Hope the city council approves!”

Margaret Hinman (7/4):

“I am beginning to have several concerns about the contract that 3100 LLLP has and the development of St. Mark Village:

“1. Transparency

“3100 LLLP’s behavior regarding their interactions with the NorthPark East Board of Directors of which I am a director gives me pause. First of all our first contact with them was when they asked for a quit claim deed for a piece of gap property and, when we did not reply immediately, giving them the deed, they upped the ante and also requested hostile takeover of some property that was NorthPark East Association property south of our fence by suing for ownership. At the meeting on Tuesday night, they claimed that they had to sue because we did not respond to their requests although we referred the matter to our attorney and were taking time to do due diligence regarding their claims before responding. I question the transparency of their efforts in that they first asked for the quit claim and then the disputed property. Is this common practice to not be forthright about what they want in a timely manner?

“Secondly, they are asking (suing) for a piece of property that is of no value with regard to development other than adding to their acreage in their request for the zone change. The disputed property is solely on public utility easement and cannot be developed, according to my understanding. Is the City, and the City Council aware of this?

“Thirdly, considering that they have not be quite honest, in my eyes at least, about what they are doing, are they going to develop the property and then “sell” it back to St. Mark’s Church or the Archdiocese of Denver, and thus make it a profitable endeavor for the church/archdiocese while being tax exempt as church property? If that is the case, the use of City services such as police, fire and ambulance services without paying for them can overburden those services and give the rest of the taxpayers the bill. I would like to believe that the Catholic Church is acting in an honest, honorable manner but I have become a cynic in my old age and do not trust either them or the developer with respect to this issue. Is this worth some research on the part of the City as to the honesty of the principals in this endeavor?

“Finally, has the City done its due diligence in vetting the developer, particularly considering some of the questionable items that have come up? Is the developer honest in terms of producing what is promised? Have previous projects by the developer been of the quality that the City would expect? If the developer is trying to develop such a high density, low income housing project in a location without much to recommend it for such a project, is that what the developer does for a living and is that what the community and the eventual residents deserve?

“2. The Wisdom of allowing the developer to go ahead with the project as it is in the proposed location

“216 one, two and three bedroom rental units (total residency capacity of over 500 people—two people in a one bedroom unit, up to 4 in a two bedroom unit and up to six in a three bedroom

unit) on 6.5 acres of land with limited parking and poor access to the necessities of life looks to me like a lifelong disaster waiting to happen. The combination of the number of residents in a tight environment, human behavior when people are so crowded and the lack of recreational amenities and space to get away from your neighbors is going to negatively impact not only the residents but also the city infrastructure and the neighbors outside the community itself.

“Residents can walk to the grocery stores at 104th and Federal if they do not have a car. There is also a pharmacy but there are no general and emergency medical facilities within walking distance of the development. The one medical building within walking distance is limited to specialists—an eye doctor, a dentist, an orthodontist, a dermatologist, and a physical therapist. This means that if an injured person has no car, the only option is 911. There are also restaurants and fast food places but there are no recreational facilities within walking distance.

“The community itself, as currently designed has no recreational facilities, no basketball courts, no swimming pool, no children’s playground, no place for adults to hang out outside of or probably inside their buildings and no easy access to them outside of the community. When children are in school, they will have a place to be but summer without something to do in the community increases the chance that there will be altercations and fights and vandalism in the community and the trespassing onto the private facilities such as the swimming pools and tennis courts in NorthPark and NorthPark East.

“Public transportation in general in the area is limited and driving into and out of the community will be a nightmare with the lack of proper traffic control on Federal.

“Does the City services infrastructure such as police, fire and ambulance services have the personnel and the equipment to administer to that community? What is the enrollment capacity of Rocky Mountain Elementary and do they have the space and the personnel to meet the needs of that population? How does that impact the increase in the number of free lunches in school and where do some of those children get food when school is not in session? In other words, can the City and the school system meet the needs of these residents as it is currently staffed?

“Is it wise to have another high density rental community in the same area as the Environs or does it make more sense to have such a community located elsewhere that would not have the impact of increased high density housing in that area? That is a question for the City to address and I hope that they do for the sake of all of the residents of Westminster.

“To me, it would be better to have such a housing project that is more humane and speaks not only to a place to live and sleep but a place where the residents can have easier access to the world around them and where they can thrive rather than just exist. This benefits not only those people but the community in general and keeps the City of Westminster a desirable place to live.

“Thank you.”

Ann Grove (7/5):

“Dear Ms. Seitz,

“I am a homeowner in Northpark. I am asking you to vote NO on the proposed zoning change this Monday of the land around the Wishbone. The public outlined many valid reasons why this

area is a poor choice for expansion at the last council meeting. The traffic flow into this area should be enough for a no vote from you, which will halt this builder from going forward to expand on this land.

“Sincerely, Ann Grove”

Lorraine Sherry (7/6):

“Question: how does the St. Mark’s developer’s plan include ACCESS TO family health care? The medical office building at the King Soopers parking lot just contains offices for optometrists, physical therapists, dermatologists, and is closed on Sundays. For 24/7 health care (Flu, sprained ankle, etc.), St. Mark’s residents must go to the family care hospital and emergency room on 84th Street, several blocks west of Federal Blvd. Definitely NOT walking distance. 31 Bus service is sparse and unreliable. Does he expect residents with a sudden health problem – family “one car” unavailable, but not needing an ambulance – to call Uber? Please ask him to address this issue. Thank you for your help.”

Carol Mauracher (7/6):

“I would approve Senior Affordable Housing in this area as long as it is truly affordable and not just labeled as affordable.

“What would happen to existing families living in this area?”

Lorraine Sherry (7/17):

“I drove past “the other” Green Court that goes through Holly Park Subdivision and exits onto 96th Avenue. It’s never been completed and I consider it impassible. But that is the supposed route where the 216 families are supposed to drive from St. Mark’s Village in order to turn left onto Federal Blvd. I have questions, below.

“Questions:

1. Is the City supposed to use our tax money to pay for completing Holly Park’s Green Court to City standards?
2. What would we or the City gain from this, considering that the high-priority I-36/Church Ranch ramp repairs will cost Westminster \$\$\$\$?
3. Is the contractor for St. Mark’s Village going to pay to fix the road? It is not on their subdivision...I would expect that whoever finishes Holly Park would complete the road as part of their own PDP/ODP. We have been waiting YEARS for them to finish their R 3.5 or R 8 development there.
4. What utilities for current (and future) Holly Park residents would be disturbed by St. Mark’s contractors working on the road in the Holly Park subdivision?
5. What upgrade, including extent and timeline, is planned for the Holly Park Green Court? Have Holly Park residents been informed about this plan?

“We plan to attend the St. Mark’s planning commission meeting at City Council scheduled for 7 PM July 23. I hope these questions (among others) could be addressed then.”

Laura Harvey (7/25):

"I am strongly against the st mark development that will be next to the Northpark neighborhood. This is not the type of development appropriate for that land/space and community."

Teri Garcia (Zinanti) (7/25):

"Hi.

"I've been hearing about the proposed plans for affordable housing. I have not, unfortunately been able to attend the meetings due to my work schedule.

I am wondering why they don't make this project an affordable "SENIOR" housing?

I see so many Seniors living on such a limited income. They have contributed to our communities for so long and should be offered the same "affordability" as others.

"I would like to suggest that they make this project/building(s) for affordable "Senior" housing instead of another affordable housing that I see popping up everywhere.

"I live in the Nothpark neighborhood, have for 20 years now. Love the community and believe that having an affordable senior housing is a fair opportunity for the seniors in our community.

"Thank you for your consideration."

Mark & Jean Whitney (8/5):

"Hi Mr Sheehan. I am e-mailing you about a concern I have had since 2011 when I contacted Ben Kiene and Alazar Tesfaye at CDOT. My concern is over no left turn lane being available going north on Federal into 97th avenue. Because of this cars drive up to 98th ave go one block, turn left into the North Park subdivision, make a u turn around the median and go back onto Federal to go south to turn right onto 97th. I live on the corner of 98th and Grove so I get to see this traffic everyday. It's like a major parade of cars especially on the weekends since on 97th is a popular restaurant the Wishbone, St Mark's Catholic church (who has changed their front entrance from 96th to now 97th ave and the Environs home and town home complex. Now to make it even worse, besides the major increase in traffic, because of major population increase since 2011, they are going to build a 200+ apartment complex on 97th just past the Wishbone. Plus they are going to finish off the lot just south of the Wishbone with more town homes.

"The u-turning into 98th to Grove and back around is going to be unbelievable plus I feel unsafe. Some cars don't even dip into 98th they just make a u turn right out on Federal-very unsafe. Right across the street from the Wishbone, on the east side of Federal is a nursery and cars can turn left into there going south on Federal plus come out of there to turn left onto Federal to so south.

"Please help. I feel it is unfair to me as a tax paying citizen to have all this traffic go by my house just for u-turning so cars can get to 97th to turn onto it. Besides the noise it is unsafe. My house has been here 25 years way before the Wishbone was built and now more apartments and townhomes being built on 97th."

Rich and Sheran Hehn (8/6):

“My husband & I do not want the board to change the zoning of the property on Federal Blvd
Cordially,

“Rich & Sheran Hehn”

Staff Note:

On the following pages are scans of letters that were mailed to Staff.

July 9, 2019

Mr. David German

City of Westminster

Dept. of Community Development

Planning Division

4800 W.92nd Ave. Westminster, CO. 80031

RE. St. Mark Development off Federal Ave.

Mr. German; Sir:

I am an owner of property at the N.P.E. location. It is my understanding that this referenced proposed project is being requested to be a low-income housing facility. This proposal was discussed at the Council meeting, on the evening of June 24th2019. A considerable amount of residence and others spoke about this proposal in a negative connotation.

I would like to make a couple comments for your kind consideration.

- 1) Having lived in a community that had this type of housing, I was fully aware that these type facilities are prone to very poor up-keep. The residents, or owner(s) do little, if anything, to keep the facility area and/or their occupancy in a reasonable looking condition.**
- 2) Regardless what the owners are professing about care, it has been my experience that their main reason for ownership is to make money, or reduce their taxable income. (this has been verified by a personal friend and owner of such a facility)**
- 3) Due to these conditions and circumstances there is a high potential of being an undesirable location for the present and future owners in the area. Therefore, reducing the property values.**
- 4) Westminster has a great situation of NO "slum" areas. SO really consider very seriously this factor and reject the present proposal!!**

Based on the above comments, it is my recommendation that the City of Westminster decide a negative approval of this project!!

A concerned property owner and citizen:

Donald Roth - 4850 W. 75th Ave. "E", Westminster, 80030

CC: Honorable Mayor-Mr. Atchison ,

Donald L. Roth

4850 W. 75th. Ave. #E
Westminster, CO. 80030

970-629-2144
teebird970@earthlink.net

Dear Mayor and City Council,

We are writing to you regarding our disapproval of rezoning to build apartments next to Wishbone Restaurant and Northpark on Federal Blvd.

Why not single family homes that would have lawns, trees and shrubs to help with CO₂ and climate change.

Single family homes would increase surrounding property values, also increasing our Westminster tax base.

They would place less demands on our water, sewer and schools.

Apartments would add a significant amount of burden to our infrastructures and traffic to an already burdened Federal Blvd. Has a study been done to evaluate the impact?

We have already seen more crime in our neighborhoods. We are very fearful that this will escalate crime for our neighbors at Northpark East.

Cordially,

Shera Helm Richard Helm

Larry and Myrna Lacina
10141 – D Grove Loop
Westminster, CO 80031

June 10, 2019

David German
City of Westminster
Dept of Community Development
Planning Division
4800 W 92nd Ave
Westminster, CO 80031

Re: 216 Unit Affordable Housing Development

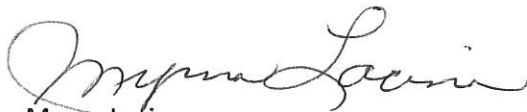
Dear Sir:

We are NOT in favor of the zoning change in order to build the 216 affordable housing development at 97th and Federal Blvd. We are not in favor of building this complex at that location.

We live in North Park East which is very close to this complex they are trying to get passed through.

Sincerely,


Larry Lacina


Myrna Lacina

Larry L. Lacin
10141 Grove Loop #D
Westminster, CO 80031-6791

RECEIVED
JUN 17 2019

DENVER CO 802

12 JUN 2019 09:01



ALL
David Herman

City of Westminster
Community Development
Planning Division
4800 W. 92nd Ave.
Westminster, Co. 80031

80031-69999

12 JUN 2019 09:01

To: City Council and Planning Board
City of Westminster

From: Margaret Hinman
10180-C Green Court
Westminster, CO 80031
303-763-0013

Re: The Proposed Development of the Property directly North of the Wishbone Restaurant

I have several concerns regarding the development of that property as high-density, affordable, rental housing.

Ownership of the Property

It is my understanding that the proposed development was owned first by St. Mark's Parish, sold to the Archdiocese of Denver and then, not sold, but deeded to the development company. If that is the case, what is to stop the development company from returning the property to the Archdiocese after it is developed? In that case, if the Archdiocese owns the property, then is it tax exempt on religious grounds? If that would be the case, does that mean that the rest of us who are tax payers are going to have to pay for the added impact on our community services such as police and fire protection and not the owners of the development?

Even if the property is taxed, what is the overall impact on educational facilities and personnel, on the police and on fire services and their ability to do their jobs? And, how much of an impact will there be in terms of added school personnel and facilities, and how does that risk the children of the whole community receiving a quality education that the City of Westminster wants to have?

Master Plan for the City

At this time, the area between Federal and Lowell, south of 104th Avenue and north of 97th Avenue already has a rental community with single family houses and with apartments, the Environs. This community is directly west of the proposed St. Mark housing beyond the water towers. To approve the development of St. Mark Village, with its high-density housing, essentially creates a rental housing barrier between the neighbors to the north and to the south in that area of Westminster. I see this impacting not only the neighbors but also giving the housing community and the business community a message that the City doesn't care about housing distribution, particularly affordable housing, in terms of a diversity, particularly economic diversity. And, it can limit the desirability for future residents of Westminster. It reminds me of the reputation that Thornton has, home ownership on the north and rentals on the south, and people don't want to live in south Thornton unless they absolutely have to. Or wanting to live and work in Federal Heights with its mobile home communities and affordable housing.

Density, Congestion, and Its Implications

216 rental units and up to 500 residents, housed in three-story buildings, having limited parking and on a relatively small area of land with one egress onto Federal Boulevard seems to be a long-term recipe for disaster in terms of daily living, and of personal interactions among the

residents. This increases the likelihood of problems for the police, the fire department, the schools and the surrounding neighborhoods. A housing development of the proposed size needs a larger area in order to have more space for its residents to allow them to be good citizens.

The peace and well-being of the existing communities

The current residents in the communities to the north and to the south of the proposed development have enjoyed the relative peace and quiet of their communities for years, making those communities desirable properties for homeowners. In reality and/or in perception, the high density, three story high rental community across the fence from NorthPark East will decrease the privacy that homeowners enjoy because the rental apartments will be taller than the fence and allow at least the top floors to see into and onto the NPE properties. In addition, the high density of the property squeezed into a tight area will increase noise pollution and increase the likelihood of civil and criminal unrest within the community.

I appreciate the mission of the Archdiocese of Denver to provide affordable housing for those in need but I feel that this development in this area in the space available is not in the best interests of not only those who would live there but also the neighbors and ultimately the City of Westminster.

It is my hope that before the City chooses to change the zoning of that area, that it seriously considers the objections stated above and that although development of that property is desirable, that this is not the development project for this property.

Sincerely,

Margaret G. Henman
6-28-19

June 26, 2019

Dear Mr David German,

I attended the council meeting Monday night (June 24th) and heard your proposal, the developers comments and the concerns of my neighbors in North Park.

First of all, I don't understand how anyone thought it was a good idea to proceed with these plans when CDOT clearly is not going to cooperate in making a left-turn lane. Secondly, while I would like to think and hope that beginning school teachers and trained technicians would be living in this "affordable housing", I just can not buy it!! I retired from Springfield Mo and Jeffco public schools and I know all too well what 'affordable housing', 'subsidized housing' or 'low-income housing' results in. It lowers property values of surrounding neighborhoods and is often the site of more crime.

I have lived in North Park, in one of the town homes, for 3 years; it is a lovely neighborhood. This proposal just makes me heart sick. I, like many others, am retired. We have worked hard to have a nice place and now fear for a decline in our property values and neighborhood. The investment of my home, is THE major financial investment of my life. It seems so unfair to diminish what I (any many others) have worked so hard for.

The suggestion of affordable housing for seniors, to me makes a good compromise. Less traffic, less young people 'looking for something' to do in the evenings. And hopefully a design of homes that would not be 3-4 stories tall.

Please listen to the people of NPE. Please consider the lives your decision is going to impact. Please value the many seniors who contribute to the economy of Westminster.

Thank you for your time.

Sincerely,



Nancy Stephens

9814 Grove St. Unit A Westminster, Co 80031

nancy.stephens5678@comcast.net

TERRI JO JENKINS

720-320-6254
terrijojenkins@gmail.com
3360 W. 98th Pl. Unit C
Westminster, CO 80031

July 2, 2019

Mr. David German
City of Westminster
Dept. of Community Development
Planning Division
4800 West 92nd Ave.
Westminster, CO 80031

Dear Mr. German,

I am writing in regard to the planned development , St. Mark Village, at 3100 W. 97th Avenue, Westminster. My husband and I purchased an adjacent home to your proposed development in 2018 with the researched knowledge that we would be guaranteed of a 50 foot variance from our property line for new construction. It has been brought to our attention that the developer has asked for this law to be overlooked for his new building.

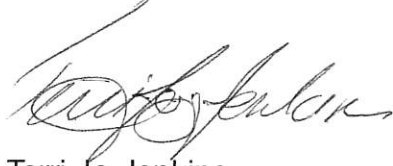
We highly disagree with the proposal to build such a large development in this proposed space for the following reasons:

- 1- Overcrowding / Not enough space for so many people
- 2- ilncreased traffic and population noise
- 3- Reduction in our property value
- 4- Law is law. There needs to be a 50 foot variance between developments.

We spent our entire life's savings to purchase our new home. We chose the area for its quietness and peacefulness. It is obvious that the proposal of a development too large for the available space will reduce our ability to resell our new home. We ask that you please consider all of the home owners who will lose if this

proposal goes forward as written. The development needs to be on a much smaller scale or moved to a more appropriate space.

Sincerely yours,

A handwritten signature in cursive script, appearing to read "Terri Jo Jenkins".

Terri Jo Jenkins



July 8, 2019

Dear Westminster City Council,

On behalf of Growing Home's staff, Board of Directors, and participants, it is my pleasure to write this letter of support of the proposed St. Mark Village affordable housing community to be developed by St. Charles Town Company. As a 20-year-old Westminster-based nonprofit organization working to create a thriving and equitable Westminster and Adams County one family at a time, Growing Home is acutely aware of the need for additional affordable housing in the community. Due to recent population increases, higher costs of living and environmental factors, poverty and homelessness are prevalent in the area, particularly southwest Westminster. Families are finding it harder than ever to keep a roof over their head and food on the table. The proposed development would help to shrink the void of affordable housing in the area.

Growing Home has been proud to partner with the City of Westminster for the past 20 years in supporting those most vulnerable in our community. Growing Home's mission is to guide children and their families to a brighter future. Our participant-centered approach to strengthening families, nurturing children, and connecting community fills a critical gap for families and children who are experiencing immediate and long-term barriers to stability and success. Through evidenced-based programs, we improve outcomes for children, their parents, and their community. Each year Growing Home helps over 2,000 families. Our model makes us a leader in the two-generation approach to poverty alleviation and community equity.

We are proud to support this development as we value the diversity of our community and welcome this opportunity to bring more housing options to Westminster. We strongly encourage you to make all necessary accommodations to allow the St. Mark Village development to move forward as soon as possible.

Thank you for your time and consideration. Please feel free to reach out to me at 720-407-1974 or karen@growinghome.org if you have any questions or would like additional information.

Sincerely,

Karen Fox Elwell
President & CEO

Letter of Support
For
St Mark Village

Dear Westminster City Council Members,

The undersigned members of the Westminster and surrounding communities have signed this letter to communicate our support of the proposed St Mark Village community to be developed by St. Charles Town Company. We value the diversity of our neighbors and welcome this unique opportunity to bring more housing options to Westminster.

We strongly encourage you to make all necessary accommodations to allow the St Mark Village development to move forward as soon as possible.

Kindly,

Your Constituents

NAME	ADDRESS	TELEPHONE	SIGNATURE
Maceda Rivera	9917 King Street	303505-2999	<i>MQR</i>
SherkatHoben	3730 W. 10TH AVE SCOB	3038986645	<i>[Signature]</i>
MURRAY KNACK	10780 Zuni Dr. Westmore	80234 303	<i>MURRAY KNACK</i>
FRANCY PARCEL	10780 Zuni Dr. Westmore 80234	3032048419	<i>FRANCY PARCEL</i>

Letter of Support
For
St Mark Village

Dear Westminster City Council Members,

The undersigned members of the Westminster and surrounding communities have signed this letter to communicate our support of the proposed St Mark Village community to be developed by St. Charles Town Company. We value the diversity of our neighbors and welcome this unique opportunity to bring more housing options to Westminster.

We strongly encourage you to make all necessary accommodations to allow the St Mark Village development to move forward as soon as possible.

Kindly,

Your Constituents

SUPPORT

ST. MARK VILLAGE

NAME	ADDRESS	TELEPHONE	SIGNATURE
Elisabeth Krick	908 S. Miller St. Lakewood ⁸⁰⁰²⁶	720-256-1077	Elisabeth A. Krick
Ed Giaco ^{Ed} Giaco ^{Ed}	Westminster, CO ⁸⁰⁰²⁶ 5556 W. 100th St	303-469-4523	Ed Giaco ^{Ed} Giaco ^{Ed}
Joby Keeler	11226 RABBITAN ST WESTMINSTER, CO 80234	303-469-7917	Joby Keeler
Julius Monge	3250 W. 114th, Arden ^{#B} WESTMINSTER, CO 80031	303-466-7230	Julius Monge
Ricardo y Victoria	3878 W 103 Ave Westminster ^{#B} 80031	720-391-6750	Ricardo y Victoria
Toni & Ted Zunga	9012 Utica St Westminster ^{#B} 80031	303-427-9343	Toni & Ted Zunga
Rosanna Callaway	9012 Utica St Westminster ^{#B} 80031	703-427-4345	Rosanna Callaway
Suzanne Hammerschmidt	10718 Ogden St.	303-895-4934	Suzanne Hammerschmidt
Sharon Burton	10985 Bryant St W. CO	303-404-7009	Sharon Burton
Todd Burton	10985 Bryant St ^{WEST} 80234	303-579-6269	Todd Burton
Pat McKeen	7681 Raleigh Dr. West	303-428-2814	Pat McKeen
Debbie Sanchez	29958 Grivz Way ^{#A}	303-1104-2151	Debbie Sanchez
JOE MUIÑEZ	3555 BROTHMAN LN WALT 101 BROOMFIELD	303-469-1357	Joe Muñez
JANICE Dahlman	10383 York St WESTMINSTER CO 80031	303-469-8605	Janice Dahlman
Shirley Murphy	8423 Princeton St Westminster, CO 80031	303-428-1037	Shirley Murphy
JOHN KOPALA	15018 St Paul St THORNTON CO 80602	303-255-4931	John Kopala

SUPPORT

ST. MARK VILLAGE

NAME	ADDRESS	TELEPHONE	SIGNATURE
DAVID ZAMBLI	10459 RONALD LN	720 244-5919	<i>[Signature]</i>
Peggy Babb	3310 W 98th Ave	303-466-4543	<i>[Signature]</i>
Charley Baber	1175 Wadsworth Blvd	303-905-8874	<i>[Signature]</i>
Rita Hernandez	12540 Grove St	303-863-9507	<i>[Signature]</i>
HELEN KLINGER	2810 W 98th Ave	720-726-5775	<i>[Signature]</i>
Marie Lyons	4833 W 93rd Ave	314-921-59	<i>[Signature]</i>
Frank Spisk	4834 W. 93rd Ave	303/909-7710	<i>[Signature]</i>
JAMES URBAN	4405 W. 94 AVE	303/426/6179	<i>[Signature]</i>
Dr Darwin Strickland	1070 Darwin ^{NC 80200} CT	303-452-1201	<i>[Signature]</i>
Ken Chandler	12562 BEACH ST.	509-552-7196	<i>[Signature]</i>
BARBARA CHANDLER	12562 BEACH ST	303-562-4504	<i>[Signature]</i>
Karen Mike West	11001 Wolffway	3/466-7513	<i>[Signature]</i>
Patsy Melonakis	1772 W 116th Ave	3-909-6050	<i>[Signature]</i>
DUSTIN LE	2000 Moselle St	702-622-9030	<i>[Signature]</i>
Mary Gabrielle	4720 Dixon Drive	303-748-5471	<i>[Signature]</i>
Paula Cline	9134 Hunter St	720-371-5719	<i>[Signature]</i>



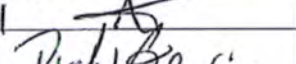
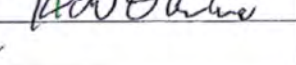
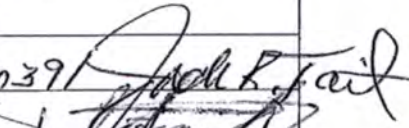
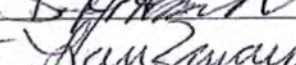
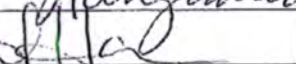
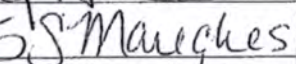
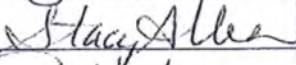
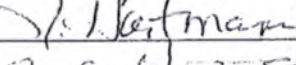
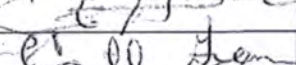
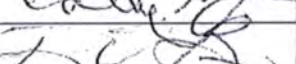
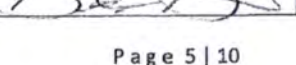
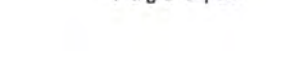
SUPPORT

ST. MARK VILLAGE

NAME	ADDRESS	TELEPHONE	SIGNATURE
Amyll Lowe	12429 James St, Brentford	970-518-3102	<i>Amyll Lowe</i>
Toni Truong	3397 W 165 th Ave West	3-803-3390	<i>Toni Truong</i>
Roy Riggin	"	3-403-1856	<i>Roy Riggin</i>
Veronica Quintana	1036 Cooke Drive	303-809-2279	<i>Veronica Quintana</i>
Sean Markovic	8243 W 119 th Ave	630-639-9660	<i>Sean Markovic</i>
Casey Markovic	8243 W 119 th Ave	630-639-9660	<i>Casey Markovic</i>
Jean Chauz	403 E. 80 th Ave.	31955-5330	<i>Jean Chauz</i>
Betty Herrick	8060 Herculano Ct.	303-423-4822	<i>Betty Herrick</i>
Shirley Herrick	9057 La Salle Pl.	303-650-6575	<i>Shirley Herrick</i>
Jamie Birn	4917 King St.	970-714-5282	<i>Jamie Birn</i>
Delora Bunn	3370 W 78 th Pl.	303-439-7060	<i>Delora Bunn</i>
Christine Salsa	8460 Oakton Pl #138	303-862-8469	<i>Christine Salsa</i>
Yessica Mendez	9769 Appletree Pl	303-828-7083	<i>Yessica Mendez</i>
FRANLISE MENDOZA	8621 Macomber St.	720-2538703	<i>FRANLISE MENDOZA</i>
Evelyn Mendez	4240 Vallejo St	770-979-2002	<i>Evelyn Mendez</i>
Jacelynn			<i>Jacelynn</i>

SUPPORT

ST. MARK VILLAGE

NAME	ADDRESS	TELEPHONE	SIGNATURE
Randy Swanson	11549 Deane St	3-917-9024	
John Watson	10779 Zuni Dr	3-573-6633	
Ed Tugello	1755 Birch St	720-628-0741	
Rich Garcia	6946 W. 87 th Way Apt	220-481-4414	
Ray Heim	4233 W 110 th Pl	383-446-9808	
Ann Heim	4235 W 110 th Pl	303-446-9808	
Jack R. Tail	2441 W 107 th DR	383-438-0391	
Dave Hammish	10718 Deane St	303-898-1955	
Lori Zamora	10459 Ronald Ln	720-244-4105	
Shelley Hartman	11025 Steele St Thornton	720-9378129	
Jenni Marches	5304 E 114 th Pl	303-6609975	
Stacy Allen	10466 Dale Cir	303-532-7270	
Shelley Hartman	9806 Palmer Ln	720-373-7546	
Sam Hartman	✓	303-241-5699	
Cathy Green	11063 Chase Way	303-330-4127	
Deb Green	11063 Chase Way	303-330-4010	

SUPPORT

ST. MARK VILLAGE

NAME	ADDRESS	TELEPHONE	SIGNATURE
Conrad Salvo	9176 La Salle Pl	3-4300311	Conrad Salvo
Joseph Halligan	9176 La Salle Pl	3-430-0311	Joseph Halligan
Mark Hayes	4674 W. 117 th St.	3-903-1575	Mark Hayes
Paul Haight	9931 Grove Way	3-469-4818	Paul Haight
Joe Baragona	4210 W. 105 th Pl	3-921-2375	Joe Baragona
Joe G. Hyde	4692 W. 99 th St.	307-466-5925	Joe G. Hyde
Patricia Finnegan	3528 W 102nd Pl	303-618-0543	Patricia Finnegan
JOHN YAGY	10708 Zuni St	31465-4641	John Yagy
Catherine Grove	2678 ^W 107 th Ct	303-466-0531	Catherine Grove
Cleo Lopez	13484 Raritan Way	3/920-2549	Cleo Lopez
Kevin Mains	10302 Meade Loop ^{West}	720-9825781	Kevin Mains
Sarah Morgan	3564 W. 102nd Pl. ^{West}	402-639-7710	Sarah Morgan
Cody Yancey	3564 W. 102nd Pl. ^{West}	808-285-1098	Cody Yancey
Rich Martinez	892 Fox Dr. #1	303-434-6880	Rich Martinez
Susan Morrison	2499 W. 134 th Circle	3/466-8536	Susan Morrison
Matt Stelbis	3542 W. 99 th Ave	3/4100965	Matt Stelbis

SUPPORT

ST. MARK VILLAGE

NAME	ADDRESS	TELEPHONE	SIGNATURE
Lois Tachtrop	9984 Applebee Pl. Thood	303 469-886	Lois Tachtrop
Therese Mayer	9980 Wolff St. West.	303-4800537	Therese A Mayer
Juanita Pidecock	684 Planet Pl	303-412-7856	Juanita Pidecock
CAROL C. PETER	6882 Lowell Blvd	303-469-8284	Carol C. Peter
Christina Myers	4674 W. 112 th Ct	303.903.4709	C Myers
Debbie Porter	10937 Legacy Ridge Way	303-464-1671	Debbie Porter
Catherine Kent	3279 W 102nd Circle	720-381-9745	Catherine Kent
Shannon Rizzi	9955 W 81st Ave	303-908-4412	Shannon Rizzi
MIKE STRETL	10190 GROVE LOOP # B	3-475-4163	Mike Stretl
Barbara May	3000 E. 112 th Ave # 84	303-255-3836	Barbara G. May
Mary Dwyer	3907 W 104th Place	303-465-9108	Mary Dwyer
Ryszard Winkler	3780 E 112 th	970 3792642	Ryszard Winkler
VICTOR GARCIA	2906 W. 11th Ave	303-466-0419	Victor Garcia
Brandi Foltz	2149 E. 116 th Ave	720-980-1316	Brandi Foltz
MARY KAY STELLING	3842 W. 99 th AVE	303-513-7205	Mary Kay Stelling
Josephine Miller	8253 Adams Way	303 4298 578	Josephine Miller

SUPPORT

ST. MARK VILLAGE

NAME	ADDRESS	TELEPHONE	SIGNATURE
Sarah Lindert	401 Interlounken Blvd	847363378	<i>Sarah Lindert</i>
Nivan Vovan	1163 w 160th place	720-877-1835	<i>Nivan Vovan</i>
Dolores SKARBER	9075 LAUNDER ST	303-430-9144	<i>Dolores Skarber</i>
Marcela Rivera	9917 King St ^{Westminster CO 80031}	303505-2999	<i>Marcela Rivera</i>
Robert Andia	11071 Gray St. ^{Westminster CO}	303-465-3151	<i>Robert Andia</i>
Maria Andia	11071 Gray St. ^{Westminster CO}	303-465-3151	<i>Maria Andia</i>
Jim DeBelle	7960 Maria ST ^{Westminster CO}	303-429-7740	<i>Jim DeBelle</i>
Angela Cito	9269 Utica Ct	303-429-0369	<i>Angela Cito</i>
Muelle Vila	9071 Raleigh ST	3036576348	<i>Muelle Vila</i>
Tuan Nguyen	14678 Pecos St	303 8861339	<i>Tuan Nguyen</i>
Fanela Delgado	260 W. 70 th Pl.	303)993-8778	<i>Fanela Delgado</i>
Norma Shiffer	8381 Louisa Dr	31659-1449	<i>Norma Shiffer</i>
Evelyn Ray	3120 N. Putnam St	720-299-2111	<i>Evelyn Ray</i>
Julia Kuhl	3141 W. 96th Ave	303-466-9720	<i>Julia Kuhl</i>
Northa Siskell	10814 Memphis St	720333-1724	<i>Northa Siskell</i>
Jane Behan	13257 Valley Ct	303 349-4898	<i>Jane Behan</i>

SUPPORT

ST. MARK VILLAGE

NAME	ADDRESS	TELEPHONE	SIGNATURE
Suzanne Strickland	1070 Darwin Ct.	3/452-1701	Suzanne Strickland
Ladonna Wilson	4405 W. 9th Ave	309-426-6179	Ladonna Wilson
Rebecca Bravo	10497 Hobbit Lane	720-530-4010	R. Bravo
Alice Higgins	1001.3 Eliot Cir	719-963-3863	Alice Higgins
Rita Parke	1801 W 92nd Ave Lot 112	3/650-8154	Rita C. Parke
Arlene Kapron	13470 Lafayette Ct 80241	3/450-5372	Arlene Kapron
Patricia Zoh	12450 Jamaica St. 80602	3/280-7298	Patricia A. Zoh
Ann M. Zoh	2964 W. 119th Ave	3-3-466-8569	Ann M. Zoh
Cherlene	4000 W. 103rd Ave	3-944-0349	Cherlene
BRIAN Pickard	684 Planet Pl	3-412-9836	Brian Pickard
James S. White	9305 Lowell Blvd	3-427-3234	James S. White
Lacey DUNN	9114 Fayett St		Lacey Dunn
Mark Boston	9725 Grande Cir	7-441-3725	Mark Boston
John Greenwald	2681 W. 121 Ave	3-949-1235	John Greenwald
Ted Borer	10937 Legacy Ridge	3/513-1581	Ted Borer
Hartner George	4510 W. 25th Ave	851-421-8076	Hartner George

SUPPORT

ST. MARK VILLAGE

NAME	ADDRESS	TELEPHONE	SIGNATURE
BRENDA GIBSON	3260 KASSLER PL.	720-353-7309	Brenda Gibson
CHRISTINE TACHSCHAGER	9138 Winona Ct	303 425-1087	Christine Tachschager
ERIC MEYER	13685 W. 84th Ave	303-928-0822	Eric Meyer
Evelyn Ruppert	11555D Decatur st	303 438-5612	Evelyn Ruppert
Dorothy Quintana	1324 Royal Arch Way	3-439-2008	Dorothy Quintana
Vivrag Thomas	3589 W 98th Pl	303-589-4867	Vivrag Thomas
Sheila Kulbeck	9946 Julian Ct.	303-465-0802	Sheila Kulbeck
Clare Dade	9700 82nd Dr	800 71	Clare Dade
Debrah Ryan	2804 W 99th Ct	78910034	Debrah Ryan
KAREN TURGENSMEIER	1343 W 112th	9703717432	Karen Turgensmeier
Luanita Madryal	9164 Fayette St 80260	720 629 7731	Luanita Madryal
BEN MOYER	9950 WOLFF ST	303-420-0577	Ben Moyer
ANITA HEAD	4795 W. 102nd Pl.	303-591-1343	Anita Head
BILL HEAD	4795 W. 102nd Pl	303-469-7754	Bill Head
Ruth Skerstone	12509 HAZEL ST	303 438 6812	Ruth Skerstone
Kathleen Winchester	6352 Vrain St	303 246 8315	Kathleen Winchester

SUPPORT

ST. MARK VILLAGE

NAME	ADDRESS	TELEPHONE	SIGNATURE
Laura Maestas	3301 W. 79 th av	420-354949	Laura Maestas
Jala Hluta	4063 W. 8 th way	303-427-0711	Jala Hluta
Ed Getser	10207 Osceola Ct	303-944-2001	Ed Getser
Jack Olgun	4217 W- 107 th Pl.	303-909-2090	Jack Olgun
Jane Olgun	4217 W- 107 th Pl	303-912-9731	Jane Olgun
Patricia Ann	4665 W 105 th Dr	720-938-4304	Patricia Ann
Josh Decker	7921 E 131 st Ave	309-241-4403	Josh Decker
Dolores Cruz	9049 Winona Ct 80021	720-394-4364	Dolores Cruz
Dave Cruz	9049 Winona Ct 80021	720-935-4316	Dave Cruz
Kathleen Egan	9218 INCALLS ST	303-659-3523	Kathleen Egan
Robert Galvan	10024 Wymondell Cir S.	720-837-8646	Robert Galvan
MATT MARIN	2776 W. 104 th LN	314-60-1130	Matt Marin
Ed Weishapl	13802 Krameria St	3-216-2533	Ed Weishapl
JOAN SALADA	3413 W. 114 th Cir	780-5428259	Joan Salada
John Stickler	88 W Ct / Sroofer	303-821-9000	John Stickler
Clay Zokirsky	1091 st Ave W	307-797-9511	Clay Zokirsky

Cora Cain 11180 Spring Dr 780 577-0424
Westminster, CO

SUPPORT

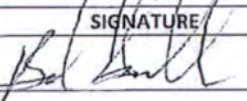
ST. MARK VILLAGE

NAME	ADDRESS	TELEPHONE	SIGNATURE
TRICIA PALKO	4433 E 93 rd Pl	303-346-8720	Tricia Palko
Reinhard	3755 W 100 Ave	303-886-8054	Reinhard
Mary Keenan	11226 N. Reitan St	303-469-7917	Mary J Keenan
Kathleen Myhre	9595 Pecos ^{est} 932	303-957-9312	Kathleen A. Myhre
Maria Blaszczyk	10030 Alcott St	303-4	Maria Blaszczyk
Margaret Hayes	2451 W 82nd Place ^{UNIT} 302	303-465-0400	M. Hayes
Bernie Buras	10138 Julian Way	303-465-0423	Bernie Buras
Kathy A. Brown	8483 Rutgers St	303-412-8329	Kathy A. Brown
Annette Moline	1284 W. 101 st Ave NG	303-503-4941	Annette Moline
John Sherman	3463 W 114 th Cir, Unit A	303-429-7052	John M. Sherman
Ann W Cox	10541 Fromblow Way	303-457-1438	Ann W Cox
Deborah Prater	10753 Julian Ct	303-465-2180	Deborah Prater
JAMES PRATER	10753 Julian Ct	303-465-2180	James Prater
CHARLES DAHLMAN	10383 YATES CT.	303-469-8665	Charles Dahlman
JOE BRAVO	10497 HOBBS LANE	720-530-3957	Joe R. Bravo
Dorothy Kopala	150 th 18 St. Paul St	720-290-9332	Dorothy Kopala

SUPPORT

ST. MARK VILLAGE

NAME	ADDRESS	TELEPHONE	SIGNATURE
James Schauf	1957 N 102nd Av The Overton	303-469-8767	James Schauf
Mrs. Gibson	3260 Kasler Pl	303-466-1928	Mrs. Gibson
Lucille Miller	10582 King St.	303-466-6824	Lucille Miller
Bill Miller	10582 King St.	303-466-6824	Bill Miller
GARPON HUPÉC	13752 Dexter Hwy	303-420-5070	Garpon Hupéc
IRMA RECKER	8310 CLAY ST #419 Westminster	303-920-1002	Irmak Recker
Carol Ruscin	11764 Ultra Way	303 378 5522	Carol Ruscin
TED SPIDVORT	6474 W. 98th Dr	303 430 7512	Ted Spidvort
Mike YAKISH	1475 Williams St.	720-616-2791	Mike Yakish
Dennis Stasch	8654 Princeton	303 429 4419	Dennis Stasch
Betty Helde	4692 W 99th Pl	303-466-5425	Betty Helde
Barb Amay	1265 Elder St	- - -	Barb Amay
Gail Showalter	12559 Hazel St.		Gail Showalter
Wes Showalter	" " "		Wes Showalter
PAUL JOCHTROP	9484 Appleton	3469-8150	Paul Jochtrop
Dorothy M. Donald	9520 N King Way		Dorothy M. Donald

NAME	ADDRESS	TELEPHONE	SIGNATURE
KBB HAMILTON	1164 CARFIELD ST	931-4489	

NAME	ADDRESS	TELEPHONE	SIGNATURE
Peggy Martinez	9782 Putnam Way, Westminster	213 435-5621	Peggy Martinez
Patsy Gallagher	8951 Ithaca Way	80030 303 749-3448	Patsy Gallagher
Ruth Kain	5500 E. 124 th Ave Thornton	3/252 9469	Ruth Kain
Yvonne Sotiro	5274 W 116 th Ave	3-469-9199	Yvonne Sotiro
Ed Dietz	3907 W. 104 th Pl.	3-465-9108	Ed Dietz
Patty McKenny	2625 W 107 th Pl.	3-655-0885	Patty McKenny
Judith Turner	8920 Fox Dr #31 Thornton	3-581-5765	Judith Turner
Phong Nguyen	4690 W. 105 th Dr Westminster	469-236 5349	Phong Nguyen
Jasmine Mei	4572 W 105 th Way West	720 325 6573	Jasmine Mei
IV-1 Woods	702 Brigitte Dr.	703-324-0817	IV-1 Woods
Jean Jones	3411 K 98 th Dr #B	303 466-5233	Jean Jones
Hynn Horning	19712 Josephine	720-236-4566	Hynn Horning
Heather Horning	8720 Mariposa St	303 522 1412	Heather Horning
Norie Hamble	11641 Garden St	303 452-4202	Norie Hamble
Mary Dambman	2975 W. 119 th Pl #102	303-770-3249	Mary Dambman
Viet Hoang	14678 PECOS ST	720-496-6694	Viet Hoang

NAME	ADDRESS	TELEPHONE	SIGNATURE
Robert Lopez	13454 Rowland Way ^{Westminster}	303/920-2549	Robert Lopez
Robert M. Morassey	2699 W. 134 th Circle	303 466 8536	Robert M. Morassey
Sheila Carpio	9880 Vine Ct	770-308-0131	Sheila Carpio
Thomas M. Miller	5253 Adama Way	303-439-8278	Tom Miller
Lucille Garcia	4468 W. 111 th Cir., Westminster	303-438-8089	Lucille Garcia
Trang Mai	4690 W 105 th Dr Westminster	720-541-0552	Trang Mai
Dwayne Kuchert	13977 Lexington Rd	503-859-9595	Dwayne Kuchert
Joseph Sanchez	3411 W 98 th Pl B	303-466-5273	Joseph Sanchez
Dawnst Herasick	8060 Greenwood Ct	303-428-4812	Dawnst Herasick
Donna M Baker	8952 Seton	303-427-7458	Donna M Baker
Vicki L Deitchel	1134 W 124 th Ct	303-457-0292	Vicki L Deitchel
Angie Quintana	6733 E. 115 th Ave	303-460-8634	Angie Quintana
Paul REVERA	9917 KING ST.	303-505-2999	Paul K. Revere
Tricia Tomas	9958 Orangewood	720/252-3947	Tricia Tomas
Nga Hoang	14678 Pecos St	303-886-1332	Nga Hoang
Lee Quintana	6733 E 115 th Ave	303-378-1757	Lee Quintana

NAME	ADDRESS	TELEPHONE	SIGNATURE
Budget Insurance	477 Whiteford St 800 26	303-249-7191	Budget Insurance
Catharine	4421 Newton Winston	7-232-4742	Catharine
Grennan Stephens	14529 Hazel St	977-520-1583	Grennan Stephens
James Riving	1463 W. 103rd Pl	505 331-1049	James Riving
Christopher Turner	13380 Burnside Dr	719-821-4289	Christopher Turner
Joseph Blair	11919 Newton St.	805 395-0725	Joseph Blair
Karen Blair	11919 Newton St SW31	661-803-0691	Karen Blair
MARY Wilson	1093 W 112th Ave # C 80234	503-255-3533	Mary Wilson
James White	10477 Laurel Ct	503-661-0714	James White
Jim McKenny	2625 W. 107th Pl.	303-688-0886	Jim McKenny
Mike Long	2508 E 145th Ct	303 931-5213	Mike Long
Catharine Schutt	5740 W 115th Ave	407-630-3593	Catharine Schutt
James Long	6734 W 98th Circle	303 521 3701	James Long
John Congo	6734 W 98th Circle	303 521 2500	John Congo
Dr. Giamini	8714 DeFrame Ct	303 465-5781	Dr. Giamini
Lucille Smith	9275 NEWTON ST	303 428-2122	Lucille Smith

NAME	ADDRESS	TELEPHONE	SIGNATURE
Emily Medina	8853 Lowell Way	720 435 9101	Emily Medina
ROBERT BARR	3750 W. 95 th AVE	303) 428-2972	Robert Barr
Melanie Flores	3161 W 93 rd Ave	720 329 6182	Melanie Flores
Isabella Flores	" "	" "	Isabella Flores
Alexandria Flores	3161 W 93 rd Ave	720-646-5240	Alexandria Flores
Julia Sava	9073 W 103 rd AVE	303-467-3823	Julia Sava
Anton Flores	3161 W 93 rd Ave	720 648 8820	Anton Flores
Sheda Hoben	3730 W. 101 st AVE	303-898-6647	Sheda Hoben
Tony Williams	8040 Northwind St	303 479 6282	Tony Williams
Joe Medina	8853 Lowell Way	303 435 2901	Joe Medina
Claudia Galvan	10021 Wyandot St C. S.	31 902-3152	Claudia Galvan
May Kolbeed	1801 W. 92 nd Ave Apt. 435 Federal Bldg	720-655-0466	May Kolbeed

NAME	ADDRESS	TELEPHONE	SIGNATURE
MARILYN Cetsch	10207 Cecob Ct.	3-944-2003	<i>Marilyn Cetsch</i>
RA Greenwald	2581 W. 121 st	3)523-2710	<i>RA Greenwald</i>
Ann Oberg	2904 W. 111 th Ave, ^{Westminster}	720-600-3033	<i>Ann Oberg</i>
Josie Kubista	14001 McKay Park Cir, ^{Broomfield} 80023		<i>Josie Kubista</i>
Bryan K. Lowe	10162 Lowell Way	303-404-2773	<i>Bryan K. Lowe</i>
Dan Carr	4640 W. 105 th Dr	303-809-5011	<i>Dan Carr</i>
Judy Stevens	12525 Wolff St	303 410-7663	<i>Judy Stevens</i>
Holly Stickle	4474 Winona ^{Pl} Blv	3/489-7865	<i>Holly Stickle</i>
Ana Wedge	1480 W 78 th Circle		<i>Ana Wedge</i>
Albert Carr	11180 Rivina Dr	303-377-1424	<i>Albert Carr</i>
Barbara Carr	3730 W 95 th Dr	3/428-2972	<i>Barbara Carr</i>
Jeri Montano	11669 Country Club Ln	3/468-1730	<i>Jeri Montano</i>
Kurt Sara	9073 W 103 rd Ave ^{Westminster}	3/469-3823	<i>Kurt Sara</i>
Dr R. H. H. H.	3730 W. 105 th Dr	746-9555	<i>Dr R. H. H. H.</i>
Gilbert Cito	9269 CITA CT.	303-456-4944	<i>Gilbert Cito</i>
Roxann Giuliano	8640 Norwich SE	3-429-6282	<i>Roxann Giuliano</i>

NAME	ADDRESS	TELEPHONE	SIGNATURE
Christine Espino	11635 Zencbig Ct Westminister	303 668 0829	Christine Espino
Cheryl Atencio	10121 OWENS DRIVE Westminister	303 460 9754	Cheryl Atencio
Sam Atencio	10121 OWENS DR, Westminister	303 460 9754	Sam Atencio
Don H Heber	2730 North 1/2 Mile Westminister	303 808 0594	Don H Heber
Anna Telen	9280 1102nd Cr	303 426 7501	Anna Telen
Suporbo Anjo	3670 W 96th Ave Westminister	780 382 8711	Suporbo Anjo

NAME	ADDRESS	TELEPHONE	SIGNATURE
Marcela Rivera	9917 King Street	303505-2999	<i>Marcela Rivera</i>
Sherat Hoben	3730 W. 10th Ave 80031	3038986645	<i>Sherat Hoben</i>
Miriam Knack	10780 Zuni Dr. Westmore	80234 303-909-9655	<i>Miriam Knack</i>
RANDY PARVEL	10940 Zuni Dr, Westm'A	80234 3037048417	<i>Randy Parvel</i>

NAME	ADDRESS	TELEPHONE	SIGNATURE
Karen Fox Elwell	3489 W. 72 nd Ave Suite 108 Westminster 1974	720-407- 720-407-1987	
Iris Abraham	3489 W. 72 nd Ave Suite 110 Westminster	720-407- 1987	
Paola Babo	1233 W. 116 th Ave Westminster CO 80234	720-384-8855	
ANITA DESTHOMMES	3489 W 72 nd Ave Suite 112 Westminster CO 8003	303-704- 7003	
Johnny Arias	3489 W. 72 nd Ave Suite 112 Westminster	575-288-6001	
Kees Frieder ^{Frieder}	3489 W. 72 nd Ave Westminster	720-407- 9003	
Brandie Ciddia	7062 Fox St Denver 80221	3-757-8719	
Isabelle Kessler	11500 Otis St - Westminster 80020	3-895-0536	
Maria Gonzalez	7271 Bryant Westminster	720 5964081	
Herminia Bastista	2460 W. 65 th pl. Westminster 80030	720 556 5718	
Cristal Cordova	3489 W. 72nd Ave, suite 108 Westminster	303-947-6849	
Paulina Figueroa	3489 W 72nd Av	619 844 1820	
Mitzi Hicks	3489 W 72nd Ave	720-407-0228	



FIRST AMENDED PRELIMINARY DEVELOPMENT PLAN
LOTS 11, 12, 45, 46, 47 AND 48
HOLLYHURST SUBDIVISION
A PLANNED UNIT DEVELOPMENT
IN THE CITY OF WESTMINSTER
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 1 OF 5

OWNER APPROVAL:

I, _____, AS MANAGER OF 3100 W 97TH AVENUE DEVELOPMENT, LLC, THE GENERAL PARTNER OF 3100 W 97TH AVENUE, LLLP, PROPERTY OWNER, DO SO APPROVE THIS ODP FOR REVIEW AND APPROVAL BY THE CITY OF WESTMINSTER THIS _____ DAY OF _____, 20__.

3100 W 97TH AVENUE, LLLP

BY: 3100 W 97TH AVENUE DEVELOPMENT, LLC
 A COLORADO LIMITED LIABILITY COMPANY
 ITS GENERAL PARTNER

BY: _____,
 _____, MANAGER

CITY APPROVAL:

ACCEPTED BY THE PLANNING COMMISSION OF THE CITY OF WESTMINSTER THIS _____ DAY OF _____, 20__.

CHAIRMAN _____

ATTEST: CITY CLERK _____

APPROVED BY THE CITY COUNCIL OF THE CITY OF WESTMINSTER THIS _____ DAY OF _____, 20__.

MAYOR _____

ATTEST: CITY CLERK _____

CLERK AND RECORDER'S CERTIFICATE:

RECEPTION NO. _____

ACCEPTED FOR FILING IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF ADAMS COUNTY OF BRIGHTON, COLORADO ON THIS _____ DAY OF _____, 20__, AT _____ O'CLOCK __M.

ADAMS COUNTY CLERK AND RECORDER _____

BY: DEPUTY CLERK _____

ZONING & LAND USE

CURRENT ZONING & LAND USE: PLANNED UNIT DEVELOPMENT FOR MIXED USE
 PROPOSED ZONING & LAND USE: PLANNED UNIT DEVELOPMENT FOR MULTIFAMILY APARTMENTS
 COMPREHENSIVE PLAN DESIGNATION: MUNICIPAL AREA

LEGAL DESCRIPTION:

A PARCEL OF LAND SITUATED IN THE SOUTHWEST QUARTER OF SECTION 17, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN, CITY OF WESTMINSTER, COUNTY OF ADAMS, STATE OF COLORADO,

LOTS 11, 12, 45, 46, 47 AND 48, HOLLYHURST, RECORDED IN BOOK 3 AT PAGE 54

EXCEPT THOSE PORTIONS THEREOF CONVEYED TO THE DEPARTMENT OF HIGHWAYS IN DEEDS RECORDED IN BOOK 920 AT PAGE 379 AND DEED RECORDED IN BOOK 926 AT PAGE 293, COUNTY OF ADAMS, STATE OF COLORADO,

MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTH QUARTER CORNER OF SAID SECTION 17, THENCE NORTH 00°01'39" EAST ALONG THE EAST LINE OF THE SOUTHWEST QUARTER, A DISTANCE OF 894.55 FEET;
 THENCE SOUTH 89°24'25" WEST A DISTANCE OF 91.40 FEET TO A POINT ON THE WEST LINE OF THE PARCEL DESCRIBED IN BOOK 926 AT PAGE 293, A POINT ON THE SOUTH LINE OF SAID LOT 11 EXTENDED EASTERLY, AND THE POINT OF BEGINNING;

THENCE CONTINUING SOUTH 89°24'25" WEST ALONG SAID EXTENSION AND THE SOUTH LINE OF SAID LOT 11, HOLLYHURST SUBDIVISION, A DISTANCE OF 468.44 FEET TO A POINT ON THE EAST LINE OF SAID LOT 45, HOLLYHURST SUBDIVISION;
 THENCE SOUTH 00°33'57" EAST ALONG SAID EAST LINE, A DISTANCE OF 161.90 FEET TO A POINT ON THE NORTH RIGHT-OF-WAY LINE OF WEST 97TH AVENUE AS DESCRIBED IN BOOK 1815 AT PAGE 496;
 THENCE SOUTH 89°24'25" WEST ALONG SAID NORTH RIGHT-OF-WAY LINE, A DISTANCE OF 521.58 FEET TO A POINT ON THE WEST LINE OF LOT 48, HOLLYHURST SUBDIVISION;
 THENCE NORTH 00°34'05" WEST ALONG SAID WEST LINE, A DISTANCE OF 340.47 FEET TO A POINT ON THE SOUTH LINE OF TRACT A, NORTHPARK SUBDIVISION FILING NO. 14 RECORDED AT RECEPTION NO. B1228332;
 THENCE NORTH 89°24'41" EAST ALONG THE SOUTH LINE OF SAID TRACT A, AND ALONG THE SOUTH LINES OF TRACT B, NORTHPARK SUBDIVISION FILING NO. 11 RECORDED AT RECEPTION NO. B689214, TRACT B, NORTHPARK SUBDIVISION FILING NO. 10 RECORDED AT RECEPTION NO. B1081276, A DISTANCE OF 993.59 FEET TO THE WEST LINE OF SAID PARCEL DESCRIBED AT BOOK 920 AT PAGE 379;
 THENCE SOUTH 00°34'36" WEST ALONG SAID WEST LINE, AND ALONG THE WEST LINE OF SAID PARCEL DESCRIBED IN BOOK 926 AT PAGE 293, A DISTANCE OF 178.53 FEET TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINS 261,513 SQUARE FEET OR 6.003 ACRES, MORE OR LESS.

BASIS OF BEARINGS:

BEARINGS ARE BASED ON THE EAST LINE THE SOUTHWEST QUARTER OF SECTION 17, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN, ASSUMED TO BEAR NORTH 00°01'39" EAST.

SURVEYOR'S CERTIFICATE

I, AARON MURPHY, A LAND SURVEYOR REGISTERED IN THE STATE OF COLORADO, HEREBY CERTIFY THAT THE ABOVE LEGAL DESCRIPTION HAS BEEN PREPARED OR REVIEWED BY ME TO BE AN ACCURATE DESCRIPTION OF THE PDP PROPERTY BOUNDARY.

DATE: AARON MURPHY, PLS 38162
 FOR AND BEHALF OF HARRIS KOCHER SMITH
 ADDRESS: 1120 LINCOLN ST., SUITE 1000
 DENVER, CO 80203
 PHONE: 303-623-6300

PERMITTED USES
 MULTI-FAMILY RESIDENTIAL

PROHIBITED USES

ANY USES NOT SPECIFICALLY LISTED AS PERMITTED SHALL BE DEEMED PROHIBITED. THE PLANNING MANAGER SHALL DETERMINE IF AN UNLISTED USE OR SET OF USES FALLS INTO THE DEFINITION OF A LISTED PERMITTED USE.

PROJECT SCOPE:

ST MARK VILLAGE IS A PROPOSED AFFORDABLE MULTIFAMILY DEVELOPMENT BOUND BY A PUBLIC SERVICE COMPANY EASEMENT TO THE NORTH, 97TH AVENUE TO THE SOUTH, FEDERAL BOULEVARD TO THE EAST, AND CITY OWNED PROPERTY TO THE WEST.

THE GENERAL DESIGN CONCEPTS INCLUDE THE FOLLOWING:

- DETACHED CLUBHOUSE WITH ON-SITE LEASING FACILITY
- FITNESS CENTER
- COMPUTER/BUSINESS ROOM
- OUTDOOR POOL IN A COURTYARD SETTING
- BBQ PATIO
- PLAYGROUND/TOT-LOT
- OUTDOOR GARDEN SEATING
- OUTDOOR TRELIS PATIO
- GREEN INFRASTRUCTURE SUCH AS RAIN GARDENS
- RIGHT OF WAY BULB OUTS TO ACT AS TRAFFIC CALMING MEASURES ALONG 97TH AVENUE

THE SITE SLOPES GENERALLY FROM NORTH TO SOUTH AND IS CURRENTLY VACANT, ROUGH GRADED LAND THAT IS PREVIOUSLY UNDEVELOPED.

ZONING & LAND USE			
	ZONING	LAND USE	COMP PLAN DESIGNATION
SUBJECT SITE:	PLANNED UNIT DEVELOPMENT (PUD)	MULTI-FAMILY RESIDENTIAL	R-36 RESIDENTIAL
NORTH:	PLANNED UNIT DEVELOPMENT (PUD)	SFA AND SFD RESIDENTIAL	R3.5 AND R-8 RESIDENTIAL
EAST:	C-1 COMMERCIAL (FEDERAL HEIGHTS)	VACANT	(NOT IN CITY OF WESTMINSTER)
SOUTH:	PLANNED UNIT DEVELOPMENT (PUD)	SFA AND SFD RESIDENTIAL; CHURCH	R-3.5 AND R-8 RESIDENTIAL; PUBLIC/ QUASI-PUBLIC
WEST:	PLANNED UNIT DEVELOPMENT (PUD)	MUNICIPAL ELEVATED WATER TANK	PUBLIC/ QUASI-PUBLIC

SITE USAGE DATA	
MULTI-FAMILY WITH 216 UNITS AND 36 DU/AC DENSITY	
LOTS 11, 12, 45, 46, 47 & 48 HOLLYHURST	261,360 SF (6.0 AC)
TOTAL AREA	261,360 SF (6.0 AC)
BUILDING COVERAGE	86,538 SF (1.99 AC; 33.11%)
PAVING AND DRIVES COVERAGE	124,493 SF (2.86 AC; 47.63%)
LANDSCAPE COVERAGE	50,329 (1.15 AC; 19.26%)

PROPERTY OWNER

3100 W 97TH AVENUE, LLLP
 1850 PLATTE STREET, SUITE 200
 DENVER, CO 80202
 720-598-1300

CONSULTANT FIRMS

ARCHITECT
 KTG ARCHITECTS
 820 16TH STREET, SUITE 500
 DENVER, COLORADO 80202
 303-825-6400

CIVIL ENGINEER
 MICHAEL MOORE, PE
 HARRIS KOCHER SMITH
 1120 LINCOLN STREET, SUITE 1000
 DENVER, COLORADO 80203
 303-623-6300

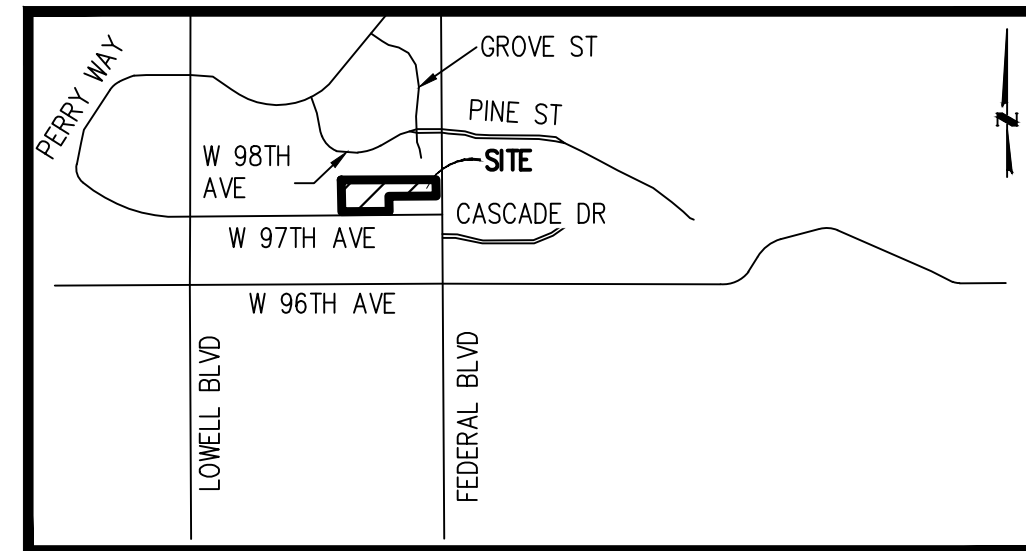
LANDSCAPE ARCHITECT
 SANDI GIBSON
 OUTSIDE LA
 2623 BURGESS CREEK RD
 STEAMBOAT SPRINGS,
 COLORADO 80487
 970-871-9629

MECHANICAL, ELECTRICAL, & PLUMBING ENGINEER
 COREY STENMAN
 JORDAN & SKALA ENGINEERS
 555 17TH STREET, SUITE 700
 DENVER, COLORADO 80202
 303-586-2375

DEVELOPMENT TIMING & PHASING

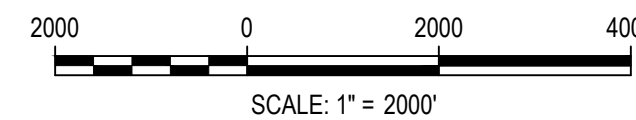
IN THE EVENT THE DATE OF APPROVAL OF A PROPERTY'S PDP OR LATEST PDP AMENDMENT IS MORE THAN FIVE (5) YEARS OLD AND NO BUILDING PERMIT HAS BEEN ISSUED, THE PDP OR AMENDED PDP SHALL BE REQUIRED TO BE SUBMITTED FOR REVIEW AND RECONSIDERATION IN ACCORDANCE WITH CITY CODE.

THE PROPOSED DEVELOPMENT TIMING AND PHASING FOR THIS PROJECT IS AS FOLLOWS:
 BEGIN CONSTRUCTION: WINTER 2019
 END CONSTRUCTION: WINTER 2021
 THE DEVELOPMENT WILL BE CONSTRUCTED IN ONE PHASE



VICINITY MAP

SCALE 1" = 2000'



SCALE: 1" = 2000'

**ST MARK VILLAGE
 PRELIMINARY DEVELOPMENT PLAN**

03/15/2019
 05/20/2019
 07/26/2019

DATE: 03/15/2019

CASE# PLN19-0038

1 OF 5
 COVER

FIRST AMENDED PRELIMINARY DEVELOPMENT PLAN
 LOTS 11, 12, 45, 46, 47 AND 48
 HOLLYHURST SUBDIVISION
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 2 OF 5



PROJECT NOTES:

PARK DEVELOPMENT FEE:

THE CITY CODE (§11-6-8(C)) REQUIRES A PARK DEVELOPMENT FEE PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR THE FIRST UNIT IN ANY BUILDING. A FEE OF \$1,363 (2019) PER DWELLING UNIT IS DUE TO THE CITY. FOR 216 DWELLINGS THE TOTAL FEE IS \$294,408. THIS FEE AMOUNT MAY CHANGE PRIOR TO COMPLETION OF THIS PROJECT AS THE PARK FEE IS ADJUSTED ANNUALLY IN ACCORDANCE WITH THE CONSUMER PRICE INDEX (CPI) AS ESTABLISHED FOR THE DENVER METROPOLITAN AREA.

PUBLIC LAND DEDICATION:

PUBLIC LAND DEDICATION IS REQUIRED FOR RESIDENTIAL DEVELOPMENTS IN THE CITY. FOR THIS SITE, THE CITY HAS DETERMINED THAT A LAND DEDICATION WOULD NOT SERVE THE PUBLIC INTEREST. THEREFORE, A FEE IN LIEU OF THE LAND DEDICATION IS REQUIRED. THE FEE IS BASED ON THE FAIR MARKET VALUE OF THE LAND WHICH MIGHT HAVE BEEN DEDICATED TO THE CITY. PUBLIC LAND DEDICATION IS PROPOSED TO BE PAID CASH-IN-LIEU. THE CITY CODE (11-6-8(B)) REQUIRES 12 ACRES PER 1,000 RESIDENTS. PROJECTED POPULATION FOR THIS DEVELOPMENT IS 2.0 PERSONS PER UNIT. FOR 216 UNITS, THE POPULATION IS 432 PERSONS. FOR 432 PERSONS, THE PUBLIC LAND DEDICATION REQUIRED IS 5.184 ACRES. BASED ON A LAND PURCHASE PRICE (OR FAIR MARKET VALUE AS DETERMINED BY A CURRENT APPRAISAL) OF \$5.00 PER SQUARE FOOT MULTIPLIED BY 5.184 ACRES, THE CASH-IN-LIEU TOTALS 1,129,075.20. (CALCULATION: 5.184 ACRES x 43,560 SQUARE FEET PER ACRE = 225,815.04 SQUARE FEET; 225,815.04 SQUARE FEET x \$5.00 PER SQUARE FOOT = 1,129,075.20) THE CASH-IN-LIEU PAYMENT IS DUE PRIOR TO THE RECORDATION OF THE FINAL PLAT, OR AT THE TIME OF ISSUANCE OF THE BUILDING PERMIT IF A PLAT IS NOT REQUIRED. (NOTE: THIS PROJECT WILL REQUIRE A FINAL PLAT.)

SCHOOL LAND DEDICATION:

THE CITY CODE (§11-6-8(F)) REQUIRES A DEDICATION OF SCHOOL LAND OR CASH IN LIEU OF LAND. FOR THIS SITE, THE CITY HAS DETERMINED THAT A LAND DEDICATION WOULD NOT SERVE THE PUBLIC INTEREST. THEREFORE, A FEE IN LIEU OF THE LAND DEDICATION IS REQUIRED. THE CASH-IN-LIEU FEE IS A FIXED AMOUNT BASED ON THE TYPE OF UNIT AND IS DUE AT THE TIME OF FINAL PLAT OR AT THE TIME OF ISSUANCE OF THE BUILDING PERMIT IF A PLAT IS NOT REQUIRED. FOR DWELLING UNITS A FEE OF \$ 112 (2019) PER DWELLING UNIT IS DUE TO THE CITY. FOR 216 DWELLINGS THE TOTAL FEE IS \$ 24,192. THIS FEE AMOUNT MAY CHANGE PRIOR TO COMPLETION OF THIS PROJECT AS THE SCHOOL FEE IS ADJUSTED ANNUALLY TO KEEP PACE WITH THE REAL ESTATE MARKET AND LAND VALUES

PUBLIC ART:

CASH-IN-LIEU FOR BOTH THE ART PIECE AND AN IMPROVED SITE SHALL BE PAYABLE BY THE PROPERTY OWNER TO THE CITY IN THE AMOUNT OF \$2,000 PER GROSS ACRE OF THE SUBJECT PROPERTY AT THE TIME OF FINAL PLAT. IF NO PLAT IS NEEDED THEN CASH-IN-LIEU SHALL BE PROVIDED AT THE TIME OF OFFICIAL DEVELOPMENT PLAN RECORDING. FOR 6.00 ACRES A FEE OF \$12,000 IS DUE TO THE CITY.

SERVICE COMMITMENTS:

MAXIMUM DENSITY OR F.A.R. OF A COMPREHENSIVE PLAN DESIGNATION, PRELIMINARY DEVELOPMENT PLAN USE, OR PREVIOUS ODP MAY NOT BE ACHIEVABLE FOR EVERY SITE DUE TO CONSTRAINTS WHICH MAY INCLUDE SERVICE RESOURCES OR INFRASTRUCTURE. THE MAXIMUM FEASIBLE DENSITY OR F.A.R. MUST BE DETERMINED BY REVIEWING COMPLETE PROJECT DATA WHEN SUBMITTED WITH EACH ODP PROPOSAL AGAINST THE CURRENT CONDITION OF KNOWN CONSTRAINTS ON THE SITE. SERVICE COMMITMENTS ARE ISSUED AT THE TIME OF BUILDING PERMIT ISSUANCE PER CITY CODE (§11-3-4(C)). SERVICE COMMITMENTS PREVIOUSLY AND EXPLICITLY PROVIDED IN DOCUMENTATION BUT NOT CONSTRUCTED NOR CONNECTED WITHIN A REASONABLE PERIOD REMAIN SUBJECT TO RESCISSION OR REDUCTION AS NECESSARY IN THE PUBLIC INTEREST.

BILLBOARD REMOVAL:

THE BILLBOARD THAT STANDS AT THE EAST END OF THE ST. MARK VILLAGE PROPERTY IS OWNED BY THE LAMAR COMPANIES. THE CURRENT SIGN LOCATION LEASE FOR THIS BILLBOARD EXPIRES ON JULY 1, 2021. THE OWNER/DEVELOPER SHALL TAKE ALL APPROPRIATE LEGAL ACTIONS NECESSARY TO ENSURE THAT THIS LEASE IS NOT RENEWED, AS PRESCRIBED BY THE TERMS OF THE LEASE. THE BILLBOARD SHALL BE FULLY REMOVED AT PROPERTY OWNER/DEVELOPER'S EXPENSE WITHIN SIXTY (60) DAYS OF THE CONCLUSION OF THE CURRENT LEASE. THE AREA WHERE THE BILLBOARD STOOD SHALL BE FULLY DEVELOPED AND COMPLETED AS SHOWN WITHIN THE APPROVED ODP FOR THIS PROPERTY WITHIN NINETY (90) DAYS OF THE REMOVAL OF THE BILLBOARD.

SERVING FACILITIES

PUBLIC RECREATION AREAS	CARROLL BUTTS PARK	0.5 MILES
PUBLIC OPEN SPACE	CARROLL BUTTS PARK	0.5 MILES
DRAINAGEWAYS	SOUTH PLATTE RIVER	6.0 MILES
MAJOR DETENTION	MIDDLE SOUTH PLATTE - CHERRY CREEK DRAINAGE BASIN	6.0 MILES
PRIMARY SCHOOL	ROCKY MOUNTAIN ELEMENTARY SCHOOL	0.6 MILES
ELEMENTARY SCHOOL	ROCKY MOUNTAIN ELEMENTARY SCHOOL	0.6 MILES
MIDDLE SCHOOL	SHAW HEIGHTS MIDDLE SCHOOL	2.0 MILES
HIGH SCHOOL	NORTHGLENN HIGH SCHOOL	2.5 MILES
NEARBY SHOPPING AREAS	NORTH PARK PLAZA	0.8 MILES
NEARBY FIRE STATIONS	WESTMINSTER FIRE STATION #2	1.3 MILES
NEARBY BUS STOPS	97TH & FEDERAL	0.1 MILES

GENERAL DESIGN STANDARDS

PER MULTI FAMILY DESIGN STANDARDS WITH EXCEPTIONS, SEE NOTES, SHEET 3 & 4.

STANDARD STATEMENTS

A. APPROVAL OF THE PRELIMINARY DEVELOPMENT PLAN CONSTITUTES A CONCEPT APPROVAL OF THE PLAN SUBJECT TO THE ABILITY OF THE CITY OF WESTMINSTER OR THE LAND OWNER TO PROVIDE NECESSARY SERVICES. DUE TO SERIOUS SHORT-RANGE AND LONG-RANGE LIMITATIONS ON THE RAW WATER SUPPLY, WATER TREATMENT CAPACITY AND SEWAGE TREATMENT CAPACITY OF THE CITY, DEVELOPMENT OF LAND IN ACCORDANCE WITH THIS PLAN MAY NOT BE POSSIBLE. APPROVAL OF THIS PLAN IMPLIES NO COMMITMENT OF THE CITY OF WESTMINSTER TO PROVIDE SERVICES. THE CITY OF WESTMINSTER ADVISES AGAINST DEVELOPMENT OF LAND IN ACCORDANCE WITH THIS PLAN WITHOUT A THOROUGH INVESTIGATION BY THE DEVELOPER OF THE AVAILABILITY OF WATER AND SEWER SERVICE AT THE TIME OF SUCH DEVELOPMENT.

B. THE LAND USES LISTED AS PERMITTED ON THE PRELIMINARY DEVELOPMENT PLAN (PDP) SHALL BE SUBJECT TO FINAL REVIEW AND APPROVAL AT THE TIME OF OFFICIAL DEVELOPMENT PLAN (ODP) APPROVAL, WITH SAID REVIEW TO INCLUDE THE LOCATION AND NUMBER OF SUCH ESTABLISHMENTS AND THE ACCEPTABILITY OF THE SITE PLAN WITH ACCEPTABLE HEIGHTS, BULK, SETBACKS, AND OPEN SPACE STANDARDS; PLUS THE ARCHITECTURAL DESIGN, THE LANDSCAPING PLAN, AND OTHER TERMS AND CONDITIONS AS ARE STANDARD IN THE REVIEW OF OFFICIAL DEVELOPMENT PLANS.

C. THE DENSITIES LISTED AS PERMITTED ON THE PRELIMINARY DEVELOPMENT PLAN (PDP) SHALL BE CONSIDERED AS A MAXIMUM AND SHALL BE SUBJECT TO FINAL REVIEW AND APPROVAL AT THE TIME OF OFFICIAL DEVELOPMENT PLAN (ODP) APPROVAL, WITH SAID REVIEW TO INCLUDE THE ACCEPTABILITY OF THE SITE PLAN WITH ACCEPTABLE HEIGHTS, BULK, SETBACKS, AND OPEN SPACE STANDARDS; PLUS THE ARCHITECTURAL DESIGN, THE LANDSCAPING PLAN, AND OTHER TERMS AND CONDITIONS AS ARE STANDARD IN THE REVIEW OF OFFICIAL DEVELOPMENT PLANS.

D. CITY USE TAX FOR PUBLIC IMPROVEMENTS WILL BE REQUIRED TO BE PAID PRIOR TO THE ISSUANCE OF THE NOTICE TO PROCEED FOR THE PUBLIC IMPROVEMENTS, AND CITY USE TAX FOR PRIVATE IMPROVEMENTS WILL BE REQUIRED TO BE PAID PRIOR TO THE ISSUANCE OF THE BUILDING PERMIT. IF YOU HAVE ANY QUESTIONS REGARDING THE CITY'S USE TAX REQUIREMENTS, PLEASE CONTACT THE CITY TAX AUDITOR.

E. UTILITY EASEMENTS: THE DESIGN OF THE PROPOSED CITY UTILITY LINES AND THE WIDTH OF THEIR RESPECTIVE EASEMENTS ARE PRELIMINARY AND MAY CHANGE DURING THE CONSTRUCTION DRAWING PHASE.

F. THE OVERHEAD UTILITIES ADJACENT TO THE NORTH PROPERTY LINE IS CONSIDERED A TRANSMISSION MAIN AND IS EXEMPT FROM UNDERGROUNDING PER WMC 11-6-3 (B)(3).

DATE: 03/15/2019

ST MARK VILLAGE
PRELIMINARY DEVELOPMENT PLAN

03/15/2019
05/20/2019
07/26/2019

CASE# PLN19-0038

2 OF 5
NOTES

FIRST AMENDED PRELIMINARY DEVELOPMENT PLAN
 LOTS 11, 12, 45, 46, 47 AND 48
 HOLLYHURST SUBDIVISION
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 3 OF 5



PUD EXCEPTIONS:

1. BUILDING SETBACKS:

REQUIREMENT NOT MET IN MULTIPLE AREAS:

- a. THE WEST PROPERTY LINE IS ADJACENT TO THE CITY'S ELEVATED WATER TOWER SITE. GIVEN THE BUILDING HEIGHTS OF 45 FEET, 4 INCHES, THE WEST SETBACK MINIMUM WOULD BE 68 FEET. THE PROPOSED SETBACK ON THE SITE PLAN IS 10 FEET.

JUSTIFICATION: DUE TO THE NATURE AND LONG TERM MUNICIPAL USE OF THE CITY'S HYDROPILLAR PROPERTY ADJACENT TO THE WEST OF ST MARK VILLAGE, A 10 FOOT SETBACK FROM THE WESTERLY PROPERTY LINE FOR FIRE PROTECTION BEST PRACTICES IS PROVIDED. REDEVELOPMENT OF A MUNICIPAL PROPERTY SERVING A CRITICAL MUNICIPAL FUNCTION TO LARGE AREAS OF THE CITY IS HIGHLY UNLIKELY AND THEREFORE, THE REDUCED SETBACK IS WARRANTED.

- b. THE NORTH PROPERTY LINE IS ADJACENT TO NORTH PARK PRIVATE OPEN SPACE. NORTH PARK IS A RESIDENTIAL NEIGHBORHOOD WITH SINGLE-FAMILY AND TOWNHOME RESIDENCES. GIVEN THE BUILDING HEIGHTS OF 45 FEET, 4 INCHES, THE NORTH SETBACK MINIMUM WOULD BE 68 FEET. THE PROPOSED SETBACK ON THE SITE PLAN IS 5 FEET.

JUSTIFICATION: ADJACENT TO THE NORTHERN PROPERTY LINE OF ST. MARK VILLAGE, THERE EXISTS A 75 FOOT WIDE UTILITY EASEMENT LOCATED ON PROPERTY PLATTED IN THE NORTHPARK SUBDIVISION TO ACCOMMODATE HIGH VOLTAGE UTILITY TRANSMISSION LINES. FROM THE NORTHERN LINE OF THE UTILITY EASEMENT TO THE MOST NORTHERLY BUILDING FACE OF ST MARK VILLAGE, THERE IS A DISTANCE (AND THEREBY AN EFFECTIVE SETBACK DUE TO THE UTILITY EASEMENT BEING UNDEVELOPABLE) OF 80 FEET, WHICH IS IN EXCESS OF THE REQUIRED SETBACK FROM THE NORTHERLY PROPERTY LINE.

- c. THE EAST PROPERTY LINE IS ADJACENT TO FEDERAL BOULEVARD. A 75' BUILDING SETBACK IS REQUIRED FROM ARTERIAL STREETS. THE PROPOSED SETBACK ON THE SITE PLAN IS 39 FEET, 7 1/4 INCHES.

JUSTIFICATION: THE 2013 COMPREHENSIVE PLAN ENVISIONS URBAN PLANNING THAT BRINGS BUILDINGS CLOSER TO THE STREET EDGE, HIGH QUALITY MATERIALS, AND IMPROVED SITE LANDSCAPING AND PEDESTRIAN AMENITIES. AS THE SITE PLAN DEMONSTRATES, ST. MARK VILLAGE ACHIEVES THE OBJECTIVES OF THE COMPREHENSIVE PLAN WITH A SIGNATURE TOWER FACED WITH STONE ALONG FEDERAL BOULEVARD AND ENHANCED LANDSCAPING ALONG THE STREET EDGE TO SCREEN VEHICULAR PARKING AND MOVEMENT ON-SITE WITHIN THE 39 FOOT, 7 1/4 INCH SETBACK.

- d. GIVEN THE BUILDING HEIGHTS OF 45 FEET, 4 INCHES, THE EAST PROPERTY LINE ADJACENT TO THE WISHBONE RESTAURANT PROPERTY WOULD HAVE A 68-FOOT REQUIRED BUILDING SETBACK. THE PROPOSED SETBACK ON THE SITE PLAN IS 10 FEET.

JUSTIFICATION: THE WISHBONE PROPERTY IS A CURRENTLY IMPROVED PARCEL WITH A PARKING LOT ADJACENT TO ST MARK VILLAGE ON THE SOUTHEAST CORNER OF THE SITE. THE SHARED EAST/WEST PROPERTY LINE MAINTAINS A 100 FOOT SETBACK FROM THE SHARED PROPERTY LINE TO ANY BUILDING FACE. THE SHARED NORTH/SOUTH PROPERTY LINE MAINTAINS A 10 FOOT SETBACK FOR FIRE PROTECTION BEST PRACTICES. SHOULD THE WISHBONE PROPERTY GET REDEVELOPED AT SOME POINT IN THE FUTURE, AN EQUIVALENT TEN FOOT SETBACK FOR THE REDEVELOPED PROPERTY WOULD PROVIDE ADEQUATE FIRE PROTECTION FOR ANY USE DEVELOPED. FURTHER, THIS AREA OF ST MARK VILLAGE IS A NON-DOMINANT FACADE WITH LIMITED WINDOW OPENINGS, FURTHER REDUCING THE RISK FOR ANY FUTURE FIRE PROTECTION ISSUES IF THE WISHBONE PROPERTY WERE TO BE REDEVELOPED. THE PROPOSED SETBACK HELPS PROMOTE THE VISUAL APPEARANCE OF A STREET WALL AND IN TURN A BETTER STREETScape ALONG 97TH AVENUE, WHICH IS CRITICAL TO THE PEDESTRIAN EXPERIENCE.

- e. THE REMAINDER OF THE SOUTH BOUNDARY LINE IS ADJACENT TO 97TH AVENUE. GIVEN THE BUILDING HEIGHTS OF 45 FEET, 4 INCHES, THE SOUTH SETBACK MINIMUM WOULD BE 68 FEET. THE PROPOSED SETBACK ON THE SITE PLAN IS 25 FEET.

JUSTIFICATION: THE 2013 COMPREHENSIVE PLAN ENVISIONS URBAN PLANNING THAT BRINGS BUILDINGS CLOSER TO THE STREET EDGE, HIGH QUALITY MATERIALS, AND IMPROVED SITE LANDSCAPING AND PEDESTRIAN AMENITIES. AS THE SITE PLAN DEMONSTRATES, ST. MARK VILLAGE ACHIEVES THE OBJECTIVES OF THE COMPREHENSIVE PLAN WITHIN THE 25 FOOT SETBACK BY BRINGING BUILDINGS CLOSER TO THE STREET EDGE TO CREATE A STREET WALL, INSTALLING BULB-OUTS AT THE SIDEWALK ON BOTH SIDES OF 97TH AVENUE AS A TRAFFIC CALMING SOLUTION AND PEDESTRIAN AMENITY, AND UTILIZING GREEN INFRASTRUCTURE RAIN GARDENS THE ENTIRE FRONTAGE ALONG 97TH AVENUE, WHICH SERVE AS A VISUAL AMENITY USING SUSTAINABLE WATER QUALITY METHODS.

2. LANDSCAPE SETBACK AREAS:

REQUIREMENT NOT MET: 35' LANDSCAPED SETBACK AREA (25' ALONG FEDERAL BLVD.) NOT PROVIDED. NO PARKING IS PERMITTED IN THESE SETBACK AREAS.

JUSTIFICATION: THE 2013 COMPREHENSIVE PLAN ENVISIONS URBAN PLANNING THAT BRINGS BUILDINGS CLOSER TO THE STREET EDGE, HIGH QUALITY MATERIALS, AND IMPROVED SITE LANDSCAPING AND PEDESTRIAN AMENITIES. IN LIEU OF THE 35' LANDSCAPED SETBACK AREA, ENHANCED LANDSCAPING PLANTINGS HAVE BEEN PROVIDED AT A RATE 3 TIMES THE NUMBER OF REQUIRED PLANTINGS AND ADEQUATELY SCREENING ON-SITE VEHICULAR PARKING AND MOVEMENT.

3. SETBACK OF POOL / CLUBHOUSE:

REQUIREMENT NOT MET: 100' SEPARATION BETWEEN POOL/CLUBHOUSE AND PROPERTY LINE.

JUSTIFICATION: PRIVACY LANDSCAPING WILL BE INSTALLED NORTH OF THE POOL LOCATION IN ORDER TO SCREEN THE ACTIVITY AREA. FURTHER, AN EXISTING LANDSCAPING BERM WITH MATURE LANDSCAPING ALREADY EXISTS APPROXIMATELY 16-22 FEET NORTH OF THE PROPOSED POOL LOCATION AND A 75 FOOT WIDE UTILITY EASEMENT PROVIDES ADEQUATE BUFFER TO EXISTING NEIGHBORS TO THE NORTH. IN ADDITION, THE AREA SOUTH OF AN EXISTING FENCE ALONG THE NORTH PROPERTY LINE IS TO BE ADDRESSED BY A FUTURE ODP AMENDMENT WHICH IS EXPECTED TO PROVIDE FOR A SUBSTANTIAL TREE SCREEN IN THIS AREA, PER ACCEPTANCE BY THE NORTHPARK EAST ASSOCIATION.

4. DETACHED SIDEWALKS:

REQUIREMENT NOT MET: NO DETACHED SIDEWALK (MINIMUM 5' WIDE, WITH STREET TREES / LANDSCAPING BETWEEN CURB AND SIDEWALK) PROVIDED ALONG 97TH AVENUE.

JUSTIFICATION: 4 FOOT WIDE ATTACHED SIDEWALKS ALONG 97TH AVENUE ARE ALREADY IN PLACE AND CONSTRUCTED, ARE CONSISTENT WITH THE ENTIRE LENGTH OF 97TH AVENUE FROM FEDERAL TO LOWELL. DETACHING THE SIDEWALKS ALONG 97TH AVENUE WOULD MAKE THE ST MARK VILLAGE PARCEL LOOK OUT OF PLACE WITHIN THE SURROUNDING NEIGHBORHOOD CONTEXT. FURTHER, DUE TO 97TH AVENUE NOT BEING AN ARTERIAL ROADWAY, THE PEDESTRIAN EXPERIENCE IS NOT DIMINISHED AS LIMITED VEHICULAR TRAFFIC EXISTS ALONG THE STRETCH OF 97TH AVENUE BETWEEN FEDERAL AND LOWELL.

5. PARKING:

REQUIREMENT NOT MET: SHORTAGE IN PARKING SPACES PROVIDED; (273 PROVIDED, 347 REQUIRED, 74 SHORT). (NOTE: ON-STREET PARKING SPACES MAY NOT BE COUNTED.)

JUSTIFICATION: PARKING STUDY PROVIDED TO THE CITY OF WESTMINSTER SUPPORTED A PARKING REDUCTION BETWEEN 21% AND 41% LOWER THAN MINIMUM REQUIREMENTS. A PARKING RATIO OF 1.26:1.00 IS UTILIZED, A 21% REDUCTION. THE REDUCTION IS AT A TYPICAL RATE FOR THE METRO AREA.

6. COVERED AND/OR GARAGE PARKING:

REQUIREMENT NOT MET: NO CARPORTS OR GARAGES PROVIDED.

JUSTIFICATION: ST MARK VILLAGE IS TO BE AN AFFORDABLE COMMUNITY AND IN ORDER TO MAINTAIN AFFORDABILITY, REQUESTS COVERED PARKING REQUIREMENTS BE ELIMINATED AND INSTEAD, POTENTIAL FUTURE ROOFTOP SOLAR PHOTOVOLTAIC BE AN ALTERNATIVE PROJECT COMPONENT SHOULD PROJECT BUDGET SAVINGS DURING CONSTRUCTION ALLOW, HELPING TO MAINTAIN AFFORDABILITY OVER THE LONG TERM.

7. LANDSCAPED ENTRY MEDIAN:

REQUIREMENT NOT MET: ENTRANCE LANDSCAPED MEDIAN NOT PROVIDED.

JUSTIFICATION: IN ORDER TO MAINTAIN THE TRADITIONAL DESIGN OF ST MARK VILLAGE, WHICH COMPLIMENTS THE NEIGHBORING ST MARK'S CATHOLIC CHURCH, A MEDIAN/ISLAND HAS BEEN OMITTED HOWEVER, ST MARK VILLAGE FEATURES TWO ENTRY TOWER DESIGN COMPONENTS CENTERED BY A STONE CLUBHOUSE CAPPING THE ENTRY DRIVE TO ACHIEVE THE DESIRED PLACEMAKING AND SITE IDENTIFICATION PURPOSES THAT MEDIAN/ISLANDS PROVIDE AT A PRIMARY ENTRANCE.

8. GROUND-LEVEL LIGHTING:

REQUIREMENT NOT MET: GROUND-LEVEL LIGHTING NOT PROVIDED.

JUSTIFICATION: DUE TO THE INFILL NATURE OF THE DEVELOPMENT, PROPOSED SIDEWALKS ARE IN CLOSE PROXIMITY TO BUILDING LIGHTING THAT WILL SUFFICIENTLY ILLUMINATE GROUND LEVEL PATHWAYS AND ADDITIONAL GROUND LIGHTING IS NOT NEEDED.

9. HOT TUB AND SPLASH PAD:

REQUIREMENT NOT MET: HOT TUB AND SPLASH PAD NOT PROVIDED.

JUSTIFICATION: IN LIEU OF A HOT TUB AND SPLASH PAD, A POOL IS TO BE PROVIDED TO BETTER ACCOMMODATE THE FAMILY DEMOGRAPHICS OF THE TO-BE-CONSTRUCTED COMMUNITY.

10. SWIMMING POOL DECK WIDTHS:

REQUIREMENT NOT MET: MINIMUM DECK WIDTHS AROUND POOL NOT PROVIDED.

JUSTIFICATION: MINIMUM SWIMMING POOL DECK WIDTHS MEET OR EXCEED 2015 INTERNATIONAL SWIMMING POOL AND SPA CODE.

11. BUILDING AND PARKING SPACING:

REQUIREMENT NOT MET: MINIMUM 15' SPACING BETWEEN BUILDINGS AND PARKING AREAS NOT PROVIDED.

JUSTIFICATION: DUE TO THE INFILL NATURE OF THE SITE AND IN AN EFFORT TO PROVIDE AS MUCH ON-SITE PARKING AS FEASIBLE BASED ON NEIGHBORHOOD FEEDBACK THE 15' MINIMUM DIMENSION IS PROPOSED TO VARY FROM 12' TO 45' WITH ENHANCED LANDSCAPING PROVIDED WHERE BUILDING FRONTS AND PARKING INTERACT.

12. PARALLEL BUILDING SPACING:

REQUIREMENT NOT MET: MINIMUM 40' SPACING BETWEEN PARALLEL BUILDINGS NOT PROVIDED.

JUSTIFICATION: PROPERTY IS AN INFILL DEVELOPMENT SITE THAT CANNOT MEET THE INTENT OF THE PROPERTY'S ZONING IF PARALLEL BUILDING SPACING OF 40' IS MAINTAINED. INSTEAD, EVERY OTHER BUILDING HAS A DIFFERENT OVERALL FORM, SCALE, OR ORIENTATION TO BREAK UP THE VIEWING PLANE.

DATE: 03/15/2019

ST MARK VILLAGE
PRELIMINARY DEVELOPMENT PLAN

03/15/2019
05/20/2019
07/26/2019

CASE# PLN19-0038

3 OF 5
NOTES

FIRST AMENDED PRELIMINARY DEVELOPMENT PLAN
 LOTS 11, 12, 45, 46, 47 AND 48
 HOLLYHURST SUBDIVISION
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 4 OF 5

PUD EXCEPTIONS:

13. NON-PARALLEL BUILDING SPACING:

REQUIREMENT NOT MET: MINIMUM 35' SPACING BETWEEN NON-PARALLEL BUILDINGS NOT PROVIDED.

JUSTIFICATION: PROPERTY IS AN INFILL DEVELOPMENT SITE THAT CANNOT MEET THE INTENT OF THE PROPERTY'S ZONING IF PARALLEL BUILDING SPACING OF 35' IS MAINTAINED. INSTEAD, EVERY OTHER BUILDING HAS A DIFFERENT OVERALL FORM, SCALE, OR ORIENTATION TO BREAK UP THE VIEWING PLANE.

14. PRIMARY AND ACCESSORY BUILDING SPACING:

REQUIREMENT NOT MET: MINIMUM 25' SPACING BETWEEN PRIMARY AND ACCESSORY BUILDINGS (CLUBHOUSE) NOT PROVIDED.

JUSTIFICATION: PROPERTY IS AN INFILL DEVELOPMENT SITE THAT CANNOT MEET THE INTENT OF THE PROPERTY'S ZONING IF PARALLEL BUILDING SPACING OF 25' IS MAINTAINED. INSTEAD, EVERY OTHER BUILDING HAS A DIFFERENT OVERALL FORM, SCALE, OR ORIENTATION TO BREAK UP THE VIEWING PLANE.

15. PARKING LOT SETBACKS FROM INTERIOR PROPERTY LINES:

REQUIREMENT NOT MET: PARKING LOT SETBACKS (15') FROM INTERIOR PROPERTY LINES NOT PROVIDED.

JUSTIFICATION: THE WISHBONE RESTAURANT PROPERTY HAS A BLOCK WALL WITH THICK TREE CANOPY ON THE PROPERTY LINE. WHEN COMBINED WITH ADDITIONAL LANDSCAPING TO BE INSTALLED AT ST MARK'S VILLAGE, THERE WILL BE AN ADEQUATE YEAR ROUND BUFFER PROVIDED IN LESS THAN THE 15 FOOT SETBACK REQUIREMENT.

16. TREATMENT OF UPPER-FLOOR BUILDING MASSING:

REQUIREMENT NOT MET: ONE-STORY STEP-DOWN IN BUILDING HEIGHTS NOT PROVIDED.

JUSTIFICATION: IN LIEU OF A STEP-DOWN IN BUILDING HEIGHTS, WHICH WOULD NOT FULFILL THE INTENT OF THE SITE'S ZONING, THE BUILDING DESIGN REFLECTS COMPONENTS OF A STEPPED DESIGN AND OTHER DESIGN ELEMENTS THAT CONVEY A SENSE OF PLACE AT RELATABLE AND RELEVANT HUMAN SCALE, WITH OVERALL HEIGHT BEING ONE STORY HIGHER THAN ADJACENT EXISTING PROPERTY. EACH BUILDING FAÇADE EXHIBITS VARYING ROOF AND PITCH ELEMENTS OF NOT LESS THAN 4 ELEVATIONS. THE COMMUNITY ENTRY FEATURES TWO SIGNATURE TOWERS ON THE BUILDING CORNERS WHICH BREAK THE FAÇADE AND CONVEY SIGNIFICANCE. THE BUILDING ALONG FEDERAL BOULEVARD FEATURES A TOWER THAT TIES INTO THE ENTRYWAY DESIGN FOR CONSISTENCY OF EXPERIENCE. THE TYPICAL FAÇADE DESIGN CONVEYS A STIMULATING AESTHETIC THAT COMPLIMENTS THE NEARBY ST MARK CATHOLIC CHURCH WHILE ALSO FULFILLING THE HIGHEST AND BEST UTILIZATION OF THE ZONING INTENT.

17. EXTERIOR BUILDING MATERIALS AND COLORS:

REQUIREMENT NOT MET: BUILDING EXTERIOR CLADDING SURFACES, INCLUDING AT LEAST 2 FEET AROUND THE BASE OF THE BUILDING, PATIO AND BALCONY AREAS, BUT EXCEPTING WINDOW, DOOR, OR RAILING PORTIONS, ON ALL SIDES OF ALL PRIMARY AND ACCESSORY BUILDINGS, ARE NOT FINISHED WITH THIRTY PERCENT (30%) OR MORE OF ALL WITH MASONRY (BRICK OR STONE).

JUSTIFICATION: IN AN EFFORT TO KEEP THE PROJECT AN AFFORDABLE DEVELOPMENT, THE DESIGN UTILIZES STONE IN PROMINENT PUBLIC FACING LOCATIONS ONLY, INCLUDING SIGNATURE STONE ENTRY TOWERS ALONG 97TH AVENUE AND A STONE TOWER ALONG FEDERAL BOULEVARD IN LIEU OF STONE OR MASONRY ON 30% OF ALL EXTERIOR CLADDING SURFACES. THE DESIGN ALSO UTILIZES TWO ALTERNATING COLOR SCHEMES TO HELP DIFFERENTIATE AND DISTINGUISH EACH BUILDING TYPE.

18. BALCONY ENCLOSURE:

REQUIREMENT NOT MET: BALCONIES ARE FRONTED WITH RAILINGS RATHER THAN OPAQUE WALLS.

JUSTIFICATION: ENCLOSED BALCONIES PROVIDE FOR A DATED LOOK AND FEEL AND ARE NOT IN KEEPING WITH CURRENT ARCHITECTURAL DESIGN OR TENANT EXPECTATIONS. BALCONIES ARE RECESSED WITHIN UNITS (IE NOT PROTRUDING FROM THE BUILDING FAÇADE) PROVIDING ENCLOSURE THROUGH DESIGN AND A BETTER, MORE USABLE TENANT EXPERIENCE.

19. SITE LANDSCAPING PERCENTAGE:

REQUIREMENT NOT MET: MINIMUM OF 40% OF SITE LANDSCAPED IS NOT MET.

JUSTIFICATION: PROPERTY IS AN INFILL DEVELOPMENT SITE THAT CANNOT MEET THE INTENT OF THE PROPERTY'S ZONING IF 40% OF THE SITE IS LANDSCAPED. HOWEVER, THE PROPERTY IS LOCATED WITHIN 500 FEET OF SQUIRES PARK AND APPLICANT HAS PROVIDED USABLE OPEN SPACES ON-SITE THAT WILL BE BETTER BY THE EXPECTANT FAMILY DEMOGRAPHIC, INCLUDING AMENITIES SUCH AS A LANDSCAPED GARDEN AREA WITH DEDICATED SEATING, A BARBEQUE PATIO AND LOUNGE AREA WITH GRILLS, POOL, AND A CHILDREN'S PLAYGROUND.

20. PARKING LOT LANDSCAPING ISLANDS:

REQUIREMENT NOT MET: PROPER PROVISION/QUANTITY, SPACING, AND PLANTING OF PARKING LOT LANDSCAPE ISLANDS NOT PROVIDED.

JUSTIFICATION: PARKING LOT LANDSCAPING ISLANDS ARE PROVIDED AT THE LENGTH OF EACH BUILDING, BUT THE VISUAL SCALE OF PARKING IS MITIGATED THROUGH THE DRIVE WAY DESIGN AND CLUBHOUSE LOCATION. ON THE EAST SIDE OF THE SITE, THE DRIVEWAY JOGS SOUTH TO BREAK UP THE VISUAL PARKING MASS. ON THE WEST SIDE OF THE SITE, THE CLUBHOUSE LOCATION WITHIN TWO PARKING AISLES BREAKS UP THE VISUAL PARKING MASS. WHILE SELECT PARKING AISLES ARE LONGER THAN TYPICAL THEY ARE 1) WITHIN EXISTING PRECEDENT IN THE CITY OF WESTMINSTER, 2) DO NOT FACE PUBLIC RIGHT OF WAY, AND 3) ARE MITIGATED THROUGH INTELLIGENT DESIGN INCLUDING ENHANCED LANDSCAPING WITH TREE AND SHRUB PLANTINGS WHICH EXCEED REQUIRED MINIMUMS BY THREE TIMES.

21. SCREENING OF PARKING:

REQUIREMENT NOT MET: PROVISION OF LANDSCAPED BERMS TO SCREEN PARKING AREAS FROM ADJACENT DEVELOPMENTS AND STREETS.

JUSTIFICATION: DEVELOPMENT'S PARKING IS INTERIOR TO THE SITE WITH SCREENING BEING PROVIDED ON THE NORTH AND SOUTH PROPERTY LINES BY BUILDINGS. TO THE WEST AND EAST, PARKING IS SCREENED BY A COMBINATION OF BUILDINGS AND LANDSCAPING. ALONG THE SHARED PROPERTY BOUNDARY WITH WISHBONE RESTAURANT, SCREENING IS PROVIDED BY AN EXISTING CINDER BLOCK WALL FIVE FEET IN HEIGHT AND EXISTING MATURE LANDSCAPING. FURTHER, ENHANCED LANDSCAPING IS PROVIDED SITE-WIDE TO IMPROVE OVERALL AESTHETIC BETWEEN BUILDING-PARKING INTERACTION AND PARKING-STREET INTERACTION. MINIMUM TREE AND SHRUB PLANTINGS EXCEED REQUIRED MINIMUMS BY THREE TIMES TO PROVIDE ADDITIONAL SCREENING AND BETTER OVERALL AESTHETIC.

22. REMOVAL OF BILLBOARD:

REQUIREMENT NOT MET: BILLBOARD IS A NON-CONFORMING SIGN THAT SHOULD BE REMOVED AS A CONDITION OF DEVELOPMENT.

JUSTIFICATION: PROPERTY OWNER WILL REMOVE SIGN AFTER LEASE TERMINATION IN 2021.

23. MULTI-USE PATHS:

REQUIREMENT NOT MET: NO 10' WIDE MULTI-USE PATHS WITHIN PROJECT.

JUSTIFICATION: AS AN INFILL DEVELOPMENT PROJECT, THE OPPORTUNITY FOR NEW PATHS IS LIMITED BY EXISTING CONDITIONS. AS AN ALTERNATIVE, THE PROJECT HAS PROVIDED ON-SITE LANDSCAPED PATHWAYS AND SEATING AS A DESTINATION RATHER THAN A MULTI-USE PATH.

DATE: 03/15/2019

ST MARK VILLAGE
 PRELIMINARY DEVELOPMENT PLAN

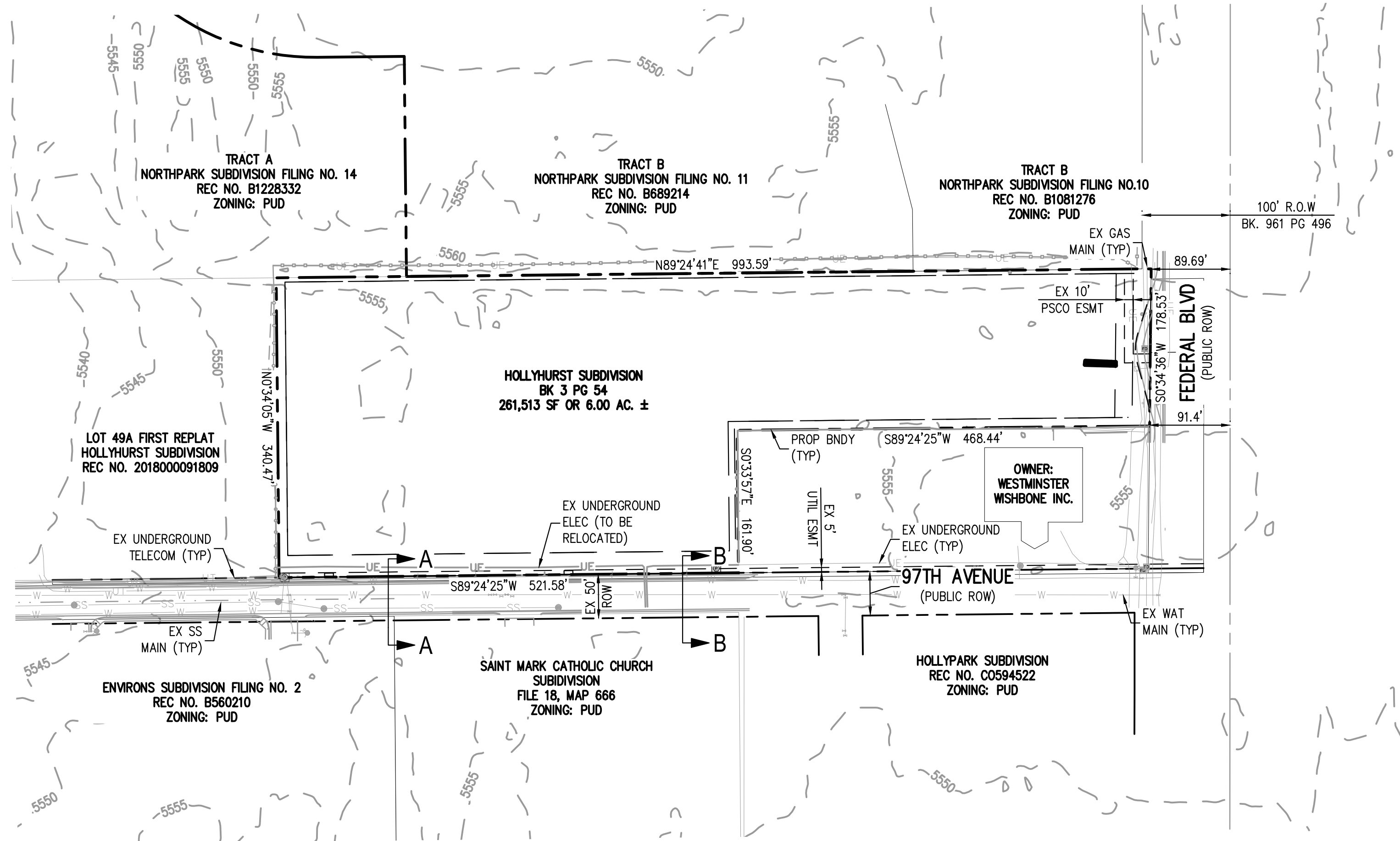
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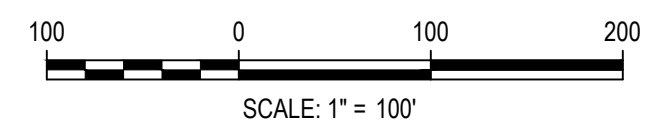
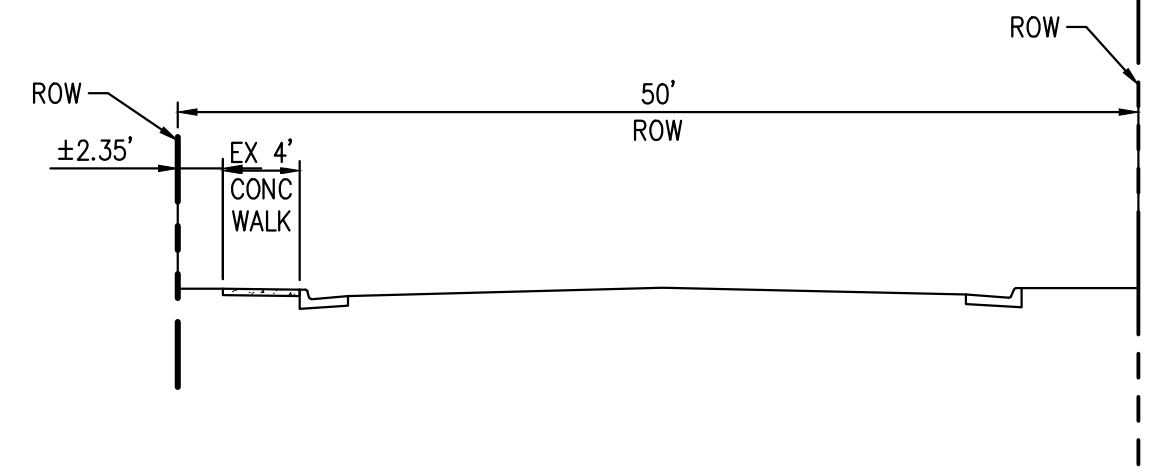
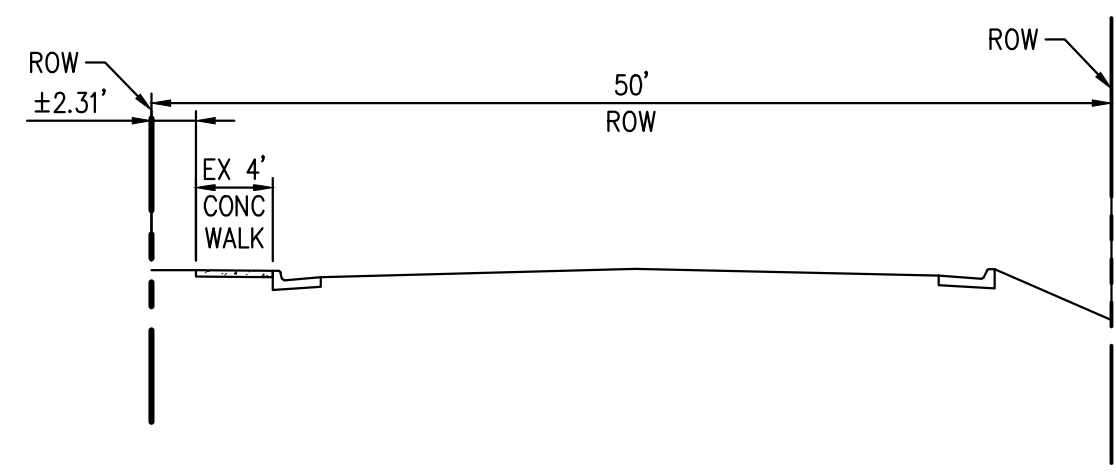
4 OF 5
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FIRST AMENDED PRELIMINARY DEVELOPMENT PLAN
 LOTS 11, 12, 45, 46, 47 AND 48
 HOLLYHURST SUBDIVISION
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 5 OF 5

DATE: 03/15/2019



ST MARK VILLAGE
 PRELIMINARY DEVELOPMENT PLAN



CASE# PLN19-0038

03/15/2019
 05/20/2019
 07/26/2019



THIRD AMENDED OFFICIAL DEVELOPMENT PLAN

LOTS 11, 12, 45, 46, 47 AND 48 HOLLYHURST SUBDIVISION

A PLANNED UNIT DEVELOPMENT IN THE CITY OF WESTMINSTER, COUNTY OF ADAMS, STATE OF COLORADO

SHEET 1 OF 37

LEGAL DESCRIPTION:

PARCEL ONE:
LOTS 12, 45, 46, 47, AND 48, HOLLYHURST SUBDIVISION, RECORDED IN BOOK 3 AT PAGE 54.

EXCEPT THAT PORTION THEREOF CONVEYED TO THE DEPARTMENT OF HIGHWAYS IN DEED RECORDED JULY 18, 1961 IN BOOK 920 AT PAGE 379, COUNTY OF ADAMS STATE OF COLORADO

PARCEL TWO
LOT 11, HOLLYHURST SUBDIVISION,

EXCEPT THAT PORTION THEREOF CONVEYED TO THE DEPARTMENT OF HIGHWAYS IN DEED RECORDED AUGUST 11, 1961 IN BOOK 926 AT PAGE 293, COUNTY OF ADAMS STATE OF COLORADO

A PARCEL OF LAND SITUATED IN THE SOUTHWEST QUARTER OF SECTION 17, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN, CITY OF WESTMINSTER, COUNTY OF ADAMS, STATE OF COLORADO,

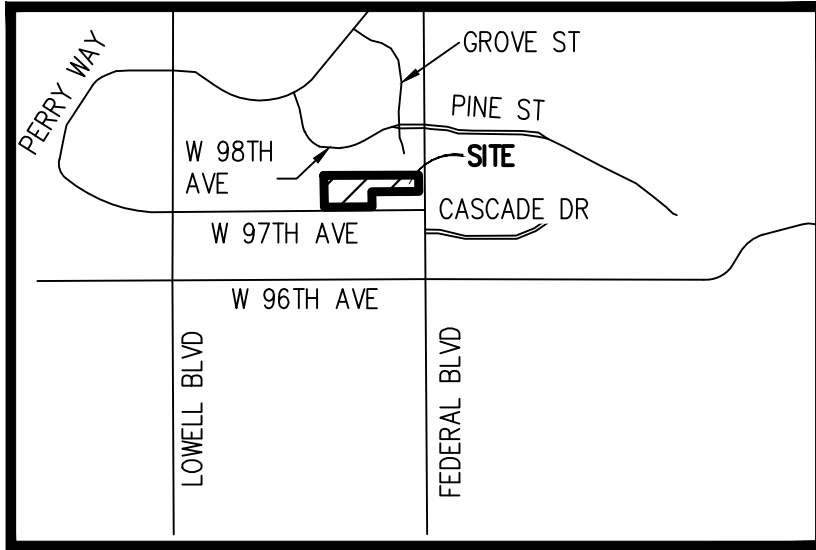
MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTH QUARTER CORNER OF SAID SECTION 17, THENCE NORTH 00°01'39" EAST ALONG THE EAST LINE OF THE SOUTHWEST QUARTER, A DISTANCE OF 894.55 FEET; THENCE SOUTH 89°24'25" WEST A DISTANCE OF 91.40 FEET TO A POINT ON THE WEST LINE OF THE PARCEL DESCRIBED IN BOOK 926 AT PAGE 293, A POINT ON THE SOUTH LINE OF SAID LOT 11 EXTENDED EASTERLY, AND THE POINT OF BEGINNING;

THENCE CONTINUING SOUTH 89°24'25" WEST ALONG SAID EXTENSION AND THE SOUTH LINE OF SAID LOT 11, HOLLYHURST SUBDIVISION, A DISTANCE OF 468.44 FEET TO A POINT ON THE EAST LINE OF SAID LOT 45, HOLLYHURST SUBDIVISION;
THENCE SOUTH 00°33'57" EAST ALONG SAID EAST LINE, A DISTANCE OF 161.90 FEET TO A POINT ON THE NORTH RIGHT-OF-WAY LINE OF WEST 97TH AVENUE AS DESCRIBED IN BOOK 1815 AT PAGE 496;
THENCE SOUTH 89°24'25" WEST ALONG SAID NORTH RIGHT-OF-WAY LINE, A DISTANCE OF 521.58 FEET TO A POINT ON THE WEST LINE OF LOT 48, HOLLYHURST SUBDIVISION;
THENCE NORTH 00°34'05" WEST ALONG SAID WEST LINE, A DISTANCE OF 340.47 FEET TO A POINT ON THE SOUTH LINE OF TRACT A, NORTHPARK SUBDIVISION FILING NO. 14 RECORDED AT RECEPTION NO. B1228332;
THENCE NORTH 89°24'41" EAST ALONG THE SOUTH LINE OF SAID TRACT A, AND ALONG THE SOUTH LINES OF TRACT B, NORTHPARK SUBDIVISION FILING NO. 11 RECORDED AT RECEPTION NO. B689214, TRACT B, NORTHPARK SUBDIVISION FILING NO. 10 RECORDED AT RECEPTION NO. B1081276, A DISTANCE OF 993.59 FEET TO THE WEST LINE OF SAID PARCEL DESCRIBED AT BOOK 920 AT PAGE 379;
THENCE SOUTH 00°34'36" WEST ALONG SAID WEST LINE, AND ALONG THE WEST LINE OF SAID PARCEL DESCRIBED IN BOOK 926 AT PAGE 293, A DISTANCE OF 178.53 FEET TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINS 261,513 SQUARE FEET OR 6.003 ACRES, MORE OR LESS.

BASIS OF BEARINGS: BEARINGS ARE BASED ON THE EAST LINE THE SOUTHWEST QUARTER OF SECTION 17, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN, ASSUMED TO BEAR NORTH 00°01'39" EAST.



VICINITY MAP

SCALE: 1" = 2000'



SCALE: 1" = 2000'

OWNER APPROVAL:

I, _____, AS MANAGER OF 3100 W 97TH AVENUE DEVELOPMENT, LLC, THE GENERAL PARTNER OF 3100 W 97TH AVENUE, LLLP, PROPERTY OWNER, DO SO APPROVE THIS ODP FOR REVIEW AND APPROVAL BY THE CITY OF WESTMINSTER THIS _____ DAY OF _____, 20__.

3100 W 97TH AVENUE, LLLP

BY: 3100 W 97TH AVENUE DEVELOPMENT, LLC
A COLORADO LIMITED LIABILITY COMPANY
ITS GENERAL PARTNER

BY: _____, MANAGER

CITY APPROVAL:

APPROVED BY THE PLANNING COMMISSION OF THE CITY OF WESTMINSTER THIS _____ DAY OF _____, 20__.

CHAIRMAN

ATTEST: CITY CLERK

ACCEPTED BY THE CITY COUNCIL OF THE CITY OF WESTMINSTER THIS _____ DAY OF _____, 20__.

MAYOR

ATTEST: CITY CLERK

CLERK AND RECORDER'S CERTIFICATE:

RECEPTION NO. _____

ACCEPTED FOR FILING IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF ADAMS COUNTY OF BRIGHTON, COLORADO ON THIS _____ DAY OF _____, 20__, AT _____ O'CLOCK __.M.

ADAMS COUNTY CLERK AND RECORDER

BY: DEPUTY CLERK

PROJECT SCOPE:

ST MARK VILLAGE IS A PROPOSED AFFORDABLE MULTIFAMILY DEVELOPMENT BOUND BY A PUBLIC SERVICE COMPANY EASEMENT TO THE NORTH, 97TH AVENUE TO THE SOUTH, FEDERAL BOULEVARD TO THE EAST, AND CITY OWNED PROPERTY TO THE WEST.

THE GENERAL DESIGN CONCEPTS INCLUDE THE FOLLOWING:

- DETACHED CLUBHOUSE WITH ON-SITE LEASING FACILITY
- FITNESS CENTER
- COMPUTER/BUSINESS ROOM
- OUTDOOR POOL IN A COURTYARD SETTING
- BBQ PATIO
- PLAYGROUND/TOT-LOT
- OUTDOOR GARDEN SEATING
- OUTDOOR TRELIS PATIO
- GREEN INFRASTRUCTURE SUCH AS RAIN GARDENS
- RIGHT OF WAY BULB OUTS TO ACT AS TRAFFIC CALMING MEASURES ALONG 97TH AVENUE

THE SITE SLOPES GENERALLY FROM NORTH TO SOUTH AND IS CURRENTLY VACANT, ROUGH GRADED LAND THAT IS PREVIOUSLY UNDEVELOPED.

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CONSULTANT FIRMS

ARCHITECT
KTYG ARCHITECTS
820 16TH STREET, SUITE 500
DENVER, COLORADO 80202
303-825-6400

CIVIL ENGINEER
MICHAEL MOORE, PE
HARRIS KOCHER SMITH
1120 LINCOLN STREET, SUITE 1000
DENVER, COLORADO 80203
303-623-6300

LANDSCAPE ARCHITECT
SANDI GIBSON
OUTSIDE LA
2623 BURGESS CREEK RD
STEAMBOAT SPRINGS, COLORADO 80487
970-871-9629

MECHANICAL, ELECTRICAL, & PLUMBING ENGINEER
COREY STENMAN
JORDAN & SKALA ENGINEERS
555 17TH STREET, SUITE 700
DENVER, COLORADO 80202
303-586-2375

DEVELOPMENT TIMING & PHASING

IN THE EVENT THE DATE OF APPROVAL OF A PROPERTY'S ODP OR LATEST ODP AMENDMENT IS MORE THAN THREE (3) YEARS OLD AND NO BUILDING PERMIT HAS BEEN ISSUED, THE ODP OR AMENDED ODP SHALL BE REQUIRED TO BE SUBMITTED FOR REVIEW AND RECONSIDERATION IN ACCORDANCE WITH CITY CODE.

THE PROPOSED DEVELOPMENT TIMING AND PHASING FOR THIS PROJECT IS AS FOLLOWS:

THE DEVELOPMENT WILL BE CONSTRUCTED IN ONE PHASE.

PROPERTY OWNER

3100 W 97TH AVENUE, LLLP
JORDAN ZIELINSKI
1850 PLATTE STREET, 2ND FLOOR
DENVER, COLORADO 80202
720-598-1300

SURVEYOR'S CERTIFICATE:

I, _____, A LAND SURVEYOR REGISTERED IN THE STATE OF COLORADO, HEREBY CERTIFY THAT THE ABOVE LEGAL DESCRIPTION HAS BEEN PREPARED OR REVIEWED BY ME TO BE AN ACCURATE DESCRIPTION OF THE PROPERTY BOUNDARY.

PERMITTED USES:

MULTI-FAMILY RESIDENTIAL

PROHIBITED USES:

ANY USES NOT SPECIFICALLY LISTED AS PERMITTED SHALL BE DEEMED PROHIBITED. THE PLANNING MANAGER SHALL DETERMINE IF AN UNLISTED USE OR SET OF USES FALLS INTO THE DEFINITION OF A LISTED PERMITTED USE.



CALL 3 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

DATE: 03/18/2019

**ST MARK VILLAGE
OFFICIAL DEVELOPEMENT PLAN**

03/18/2019
05/20/2019
07/26/2019

1 OF 37
COVER

CASE# PLN19-0039

THIRD AMENDED OFFICIAL DEVELOPMENT PLAN
 LOTS 11, 12, 45, 46, 47 AND 48
 HOLLYHURST SUBDIVISION
 A PLANNED UNIT DEVELOPMENT IN THE
 CITY OF WESTMINSTER, COUNTY OF
 ADAMS, STATE OF COLORADO
 SHEET 2 OF 37

DATE: 03/18/2019

ZONING & LAND USE			
	ZONING	LAND USE	COMP PLAN DESIGNATION
SUBJECT SITE:	PLANNED UNIT DEVELOPMENT (PUD)	MULTI-FAMILY RESIDENTIAL	R-36 RESIDENTIAL
NORTH:	PLANNED UNIT DEVELOPMENT (PUD)	SFA AND SFD RESIDENTIAL	R3.5 AND R-8 RESIDENTIAL
EAST:	C-1 COMMERCIAL (FEDERAL HEIGHTS)	VACANT	(NOT IN CITY OF WESTMINSTER)
SOUTH:	PLANNED UNIT DEVELOPMENT (PUD)	SFA AND SFD RESIDENTIAL; CHURCH	R-3.5 AND R-8 RESIDENTIAL; PUBLIC/ QUASI-PUBLIC
WEST:	PLANNED UNIT DEVELOPMENT (PUD)	MUNICIPAL ELEVATED WATER TANK	PUBLIC/ QUASI-PUBLIC

LOTS & COVERAGE	
TOTAL SITE AREA:	261,360 SF = 6.00+AC
NUMBER OF LOTS:	1
BUILDING COVERAGE (SF & %):	86,538 SF / 33.11%
PARKING AND DRIVES (SF & %):	124,493 SF / 47.63%
LANDSCAPE/OPEN AREA (SF & %):	50,329 SF / 19.26%
MINIMUM LOT SIZE:	N/A

PROJECT/SITE DATA								
BUILDING TYPE	BUILDING 1 (TYPE C)	BUILDING 2 (TYPE C)	BUILDING 3 (TYPE A)	BUILDING 4 (TYPE A)	BUILDING 6 (TYPE A)	BUILDING 7 (TYPE A)	BUILDING 8 (TYPE B)	CLUBHOUSE
ODP BOUNDARY AREA (SF/ACRES):	261,360 SF = 6.00+AC							
GFA (SF):	43,013	43,013	22,619	22,619	22,619	22,619	38,117	2,260
FFA (SF):	39,312	39,312	21,204	21,204	21,204	21,204	35,694	2,260
FAR/DU PER ACRE (#):	36.00							
MAXIMUM BUILDING HEIGHT(S) (FT):	45'-4"							

MINIMUM SETBACKS			
PROPERTY LINE - (ADJACENT AREA)	BUILDING	PARKING	LANDSCAPING
WEST - (CITY TOWER PROPERTY)	10'-0"	2'-0"	2'-0"
NORTH - (NORTH PARK SUBDIVISION)	5'-0"	72'-7"	5'-0"
EAST - (FEDERAL BOULEVARD)	39'-7 1/4"	25'-0"	20'-0"
SOUTH - (WISHBONE RESTAURANT)	100'-9"	10'-0"	10'-0"
EAST - (WISHBONE RESTAURANT)	10'-0"	3'-10"	3'-0"
SOUTH - (97TH AVENUE)	25'-0"	10'-6"	25'-0"
BETWEEN PRIMARY BUILDINGS	20'-0"	7'-0"	N/A
BETWEEN ACCESSORY BUILDINGS	N/A	N/A	N/A

ST MARK VILLAGE
 OFFICIAL DEVELOPEMENT PLAN

03/18/2019
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CALL 3 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

CASE# PLN19-0039

THIRD AMENDED OFFICIAL DEVELOPMENT PLAN
LOTS 11, 12, 45, 46, 47 AND 48
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 A PLANNED UNIT DEVELOPMENT IN THE
 CITY OF WESTMINSTER, COUNTY OF
 ADAMS, STATE OF COLORADO
 SHEET 3 OF 37

PROJECT NOTES:

PARK DEVELOPMENT FEE:

THE CITY CODE (§11-6-8(C)) REQUIRES A PARK DEVELOPMENT FEE PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR THE FIRST UNIT IN ANY BUILDING. A FEE OF \$1,363 (2019) PER DWELLING UNIT IS DUE TO THE CITY. FOR 216 DWELLINGS THE TOTAL FEE IS \$294,408. THIS FEE AMOUNT MAY CHANGE PRIOR TO COMPLETION OF THIS PROJECT AS THE PARK FEE IS ADJUSTED ANNUALLY IN ACCORDANCE WITH THE CONSUMER PRICE INDEX (CPI) AS ESTABLISHED FOR THE DENVER METROPOLITAN AREA.

PUBLIC LAND DEDICATION:

PUBLIC LAND DEDICATION IS REQUIRED FOR RESIDENTIAL DEVELOPMENTS IN THE CITY. FOR THIS SITE, THE CITY HAS DETERMINED THAT A LAND DEDICATION WOULD NOT SERVE THE PUBLIC INTEREST. THEREFORE, A FEE IN LIEU OF THE LAND DEDICATION IS REQUIRED. THE FEE IS BASED ON THE FAIR MARKET VALUE OF THE LAND WHICH MIGHT HAVE BEEN DEDICATED TO THE CITY. PUBLIC LAND DEDICATION IS PROPOSED TO BE PAID CASH-IN-LIEU. THE CITY CODE (11-6-8(B)) REQUIRES 12 ACRES PER 1,000 RESIDENTS. PROJECTED POPULATION FOR THIS DEVELOPMENT IS 2.0 PERSONS PER UNIT. FOR 216 UNITS, THE POPULATION IS 432 PERSONS. FOR 432 PERSONS, THE PUBLIC LAND DEDICATION REQUIRED IS 5.184 ACRES. BASED ON A LAND PURCHASE PRICE (OR FAIR MARKET VALUE AS DETERMINED BY A CURRENT APPRAISAL) OF \$5.00 PER SQUARE FOOT MULTIPLIED BY 5.184 ACRES, THE CASH-IN-LIEU TOTALS 1,129,075.20. (CALCULATION: 5.184 ACRES x 43,560 SQUARE FEET PER ACRE = 225,815.04 SQUARE FEET; 225,815.04 SQUARE FEET x \$5.00 PER SQUARE FOOT = 1,129,075.20) THE CASH-IN-LIEU PAYMENT IS DUE PRIOR TO THE RECORDATION OF THE FINAL PLAT, OR AT THE TIME OF ISSUANCE OF THE BUILDING PERMIT IF A PLAT IS NOT REQUIRED. (NOTE: THIS PROJECT WILL REQUIRE A FINAL PLAT.)

SCHOOL LAND DEDICATION:

THE CITY CODE (§11-6-8(F)) REQUIRES A DEDICATION OF SCHOOL LAND OR CASH IN LIEU OF LAND. FOR THIS SITE, THE CITY HAS DETERMINED THAT A LAND DEDICATION WOULD NOT SERVE THE PUBLIC INTEREST. THEREFORE, A FEE IN LIEU OF THE LAND DEDICATION IS REQUIRED. THE CASH-IN-LIEU FEE IS A FIXED AMOUNT BASED ON THE TYPE OF UNIT AND IS DUE AT THE TIME OF FINAL PLAT OR AT THE TIME OF ISSUANCE OF THE BUILDING PERMIT IF A PLAT IS NOT REQUIRED. FOR DWELLING UNITS A FEE OF \$ 112 (2019) PER DWELLING UNIT IS DUE TO THE CITY. FOR 216 DWELLINGS THE TOTAL FEE IS \$ 24,192. THIS FEE AMOUNT MAY CHANGE PRIOR TO COMPLETION OF THIS PROJECT AS THE SCHOOL FEE IS ADJUSTED ANNUALLY TO KEEP PACE WITH THE REAL ESTATE MARKET AND LAND VALUES

PUBLIC ART:

CASH-IN-LIEU FOR BOTH THE ART PIECE AND AN IMPROVED SITE SHALL BE PAYABLE BY THE PROPERTY OWNER TO THE CITY IN THE AMOUNT OF \$2,000 PER GROSS ACRE OF THE SUBJECT PROPERTY AT THE TIME OF FINAL PLAT. IF NO PLAT IS NEEDED THEN CASH-IN-LIEU SHALL BE PROVIDED AT THE TIME OF OFFICIAL DEVELOPMENT PLAN RECORDING. FOR 6.00 ACRES A FEE OF \$12,000 IS DUE TO THE CITY.

SERVICE COMMITMENTS:

MAXIMUM DENSITY OR F.A.R. OF A COMPREHENSIVE PLAN DESIGNATION, PRELIMINARY DEVELOPMENT PLAN USE, OR PREVIOUS ODP MAY NOT BE ACHIEVABLE FOR EVERY SITE DUE TO CONSTRAINTS WHICH MAY INCLUDE SERVICE RESOURCES OR INFRASTRUCTURE. THE MAXIMUM FEASIBLE DENSITY OR F.A.R. MUST BE DETERMINED BY REVIEWING COMPLETE PROJECT DATA WHEN SUBMITTED WITH EACH ODP PROPOSAL AGAINST THE CURRENT CONDITION OF KNOWN CONSTRAINTS ON THE SITE. SERVICE COMMITMENTS ARE ISSUED AT THE TIME OF BUILDING PERMIT ISSUANCE PER CITY CODE (§11-3-4(C)). SERVICE COMMITMENTS PREVIOUSLY AND EXPLICITLY PROVIDED IN DOCUMENTATION BUT NOT CONSTRUCTED NOR CONNECTED WITHIN A REASONABLE PERIOD REMAIN SUBJECT TO RESCISSION OR REDUCTION AS NECESSARY IN THE PUBLIC INTEREST.

BILLBOARD REMOVAL:

THE BILLBOARD THAT STANDS AT THE EAST END OF THE ST. MARK VILLAGE PROPERTY IS OWNED BY THE LAMAR COMPANIES. THE CURRENT SIGN LOCATION LEASE FOR THIS BILLBOARD EXPIRES ON JULY 1, 2021. THE OWNER/DEVELOPER SHALL TAKE ALL APPROPRIATE LEGAL ACTIONS NECESSARY TO ENSURE THAT THIS LEASE IS NOT RENEWED, AS PRESCRIBED BY THE TERMS OF THE LEASE. THE BILLBOARD SHALL BE FULLY REMOVED AT PROPERTY OWNER/DEVELOPER'S EXPENSE WITHIN SIXTY (60) DAYS OF THE CONCLUSION OF THE CURRENT LEASE. THE AREA WHERE THE BILLBOARD STOOD SHALL BE FULLY DEVELOPED AND COMPLETED AS SHOWN WITHIN THE APPROVED ODP FOR THIS PROPERTY WITHIN NINETY (90) DAYS OF THE REMOVAL OF THE BILLBOARD.

RECOVERY COSTS:


NO RECOVERIES DUE AT THIS TIME, HOWEVER ANY SUBSEQUENTLY OCCURRING RECOVERY COSTS SHALL ALSO BE EFFECTIVE AGAINST THE DEVELOPMENT. A RECOVERY COST IS STILL VALID AGAINST A DEVELOPMENT EVEN IF IT IS UNDISCOVERED AND/OR INADVERTENTLY OMITTED FROM THE PRELIMINARY OR OFFICIAL DEVELOPMENT PLAN.

SNOW REMOVAL:

DUE TO SPACE LIMITATIONS, SNOW STORAGE IS NOT FEASIBLE ON THIS SITE. CLEARED SNOW MUST BE REMOVED FROM THE SITE, RATHER THAN STORED ONSITE.

STANDARD STATEMENTS:

- A. THE PROJECT OWNER/DEVELOPER AND ASSIGNS ARE RESPONSIBLE FOR ENSURING THAT ALL CONSTRUCTION DRAWINGS AND DOCUMENTS COMPLY WITH ALL REQUIREMENTS OF THE ODP. THE PROJECT OWNER/DEVELOPER SHALL BE HELD RESPONSIBLE FOR ANY CONSTRUCTION AND GRADING COMPLETED THAT DOES NOT COMPLY WITH THE APPROVED ODP AND SHALL BE REQUIRED TO MAKE ALL MODIFICATIONS NECESSARY TO BRING THE PROJECT IN COMPLIANCE WITH THE ODP.
- B. THE FINAL PLAT FOR THIS PROJECT MUST BE SUBMITTED FOR CITY APPROVAL WITHIN TWELVE (12) MONTHS OF THE APPROVAL DATE OF THIS OFFICIAL DEVELOPMENT PLAN.
- C. CITY USE TAX FOR PUBLIC IMPROVEMENTS WILL BE REQUIRED TO BE PAID PRIOR TO THE ISSUANCE OF THE NOTICE TO PROCEED FOR THE PUBLIC IMPROVEMENTS, AND CITY USE TAX FOR PRIVATE IMPROVEMENTS WILL BE REQUIRED TO BE PAID PRIOR TO THE ISSUANCE OF THE BUILDING PERMIT.
- D. THE DESIGN OF PROPOSED CITY UTILITY LINES AND THE WIDTH OF THEIR RESPECTIVE EASEMENTS ARE PRELIMINARY AND MAY CHANGE DURING THE CONSTRUCTION DRAWING PHASE.
- E. ALL PUBLIC WATER, STORM SEWER AND SANITARY SEWER MAINS AND APPURTENANCES LOCATED IN PUBLIC ROW OR UTILITY EASEMENTS SHALL BE MAINTAINED BY THE CITY OF WESTMINSTER PUBLIC WORKS DEPARTMENT. THE CITY IS NOT RESPONSIBLE FOR REPAIR OR REPLACEMENT OF PAVEMENT, CURB AND GUTTER, LANDSCAPING OR ANY OTHER PRIVATE IMPROVEMENTS WITHIN UTILITY EASEMENTS DAMAGED DURING UTILITY REPAIR OR MAINTENANCE.
- F. UTILITY BOXES ARE TO BE INSTALLED IN THE LOCATION(S) SHOWN ON THIS ODP. ANY PROPOSED REVISIONS TO THE LOCATION(S) SHOWN ON THIS ODP SHALL REQUIRE AN ODP AMENDMENT PRIOR TO THE INSTALLATION OF THE BOXES, AND THE CITY'S APPROVAL OF SUCH AN AMENDMENT MAY BE CONDITIONAL UPON THE PROVISION OF ADDITIONAL SCREENING (E.G. MASONRY WALL AND/OR LANDSCAPING).
- G. THE INSTALLATION AND/OR MAINTENANCE OF ANY AND ALL DRAINAGE IMPROVEMENTS NEEDED TO SERVE THIS SITE, INCLUDING BUT NOT LIMITED TO OFFSITE STORM DRAINAGE DETENTION FACILITIES IS AND REMAINS FOREVER THE RESPONSIBILITY OF THE OWNER, ITS HEIRS, SUCCESSORS, AND ASSIGNS AND WILL NOT BECOME THE PROPERTY OR MAINTENANCE RESPONSIBILITY OF THE CITY OF WESTMINSTER WITH THE EXCEPTION OF DESIGNATED REGIONAL STORMWATER OR WATER QUALITY FACILITIES.
- H. THE PROPERTY OWNER WILL CONVEY TO THE CITY ALL RIGHTS TO NON-TRIBUTARY WATER UNDERLYING THIS PROJECT, AS WELL AS EASEMENTS FOR ACQUISITION OF SUCH WATER AS PART OF THE FINAL PLAT.
- I. STORM DRAINAGE SHALL ONLY BE DISCHARGED ONTO OR ACROSS PUBLIC LAND AS DESCRIBED IN THE APPROVED DRAINAGE STUDY.
- J. ANY NEW FACILITY OR MODIFICATIONS TO AN EXISTING DEVELOPMENT THAT RESULT IN ADDITIONAL WATER USE INCLUDING BUILDING FIXTURES, LANDSCAPE, IRRIGATION OR OTHER WATER USE CATEGORY WILL REQUIRE A REVIEW OF EXISTING AND PROPOSED WATER USE PROJECTIONS. THIS REVIEW MAY RESULT IN AN INCREASE IN TAP FEES.
- K. CITY WILL INSTALL, AT DEVELOPER'S EXPENSE, ALL TRAFFIC CONTROL DEVICES REQUIRED, INCLUDING STREET NAME SIGNS.
- L. PUBLIC STREET LIGHTS WILL BE DESIGNED IN ACCORDANCE WITH THE CITY'S STREETLIGHT STANDARDS, IN EFFECT AT THE TIME OF STREETLIGHT DESIGN AND INSTALLATION, AND INSTALLED AT THE DEVELOPER'S COST. OWNERSHIP OF THE STREETLIGHTS SHALL NOT BE TRANSFERRED TO ANY ENTITY, EXCEPT THE CITY OF WESTMINSTER, UNLESS THE CITY AUTHORIZES THE TRANSFER TO ANOTHER ENTITY IN WRITING.
- M. ALL LIGHTING WILL BE DIRECTED DOWNWARD, FULL CUTOFF AND SHIELDED. THE PHOTOMETRIC PLAN WILL SHOW NO LIGHT TRESPASS TO RESIDENTIAL PROPERTIES, AND MINIMAL OFF SITE FOR OTHER PROPERTY.
- N. ALL ROOFTOP EQUIPMENT ON THE BUILDING WILL BE SCREENED TO ITS FULL HEIGHT AND DESIGNED AS AN INTEGRAL PART OF THE BUILDING ARCHITECTURE.
- O. ALL WATER FEATURES MUST BE FUNCTIONAL AND OPERATE ANNUALLY - AT LEAST FROM MAY 1 THROUGH SEPTEMBER 30.
- P. ALL SIGNAGE PROPOSED / INSTALLED WILL COMPLY WITH THE WESTMINSTER MUNICIPAL CODE SIGNAGE REGULATIONS AND THIS ODP AND MUST BE SEPARATELY REVIEWED AND PERMITTED WITH A VALID SIGN PERMIT. SIGNAGE LOCATIONS SHOWN ON BUILDING ELEVATIONS ARE FOR ILLUSTRATIVE PURPOSES ONLY WITH THE INTENT OF PROVIDING ACCEPTABLE LOCATIONS WHERE SIGNAGE CAN BE BEST INTEGRATED INTO THE ARCHITECTURE OF THE BUILDING. THESE LOCATIONS ARE INTENDED TO PROVIDE OPTIONS FOR THE BUILDING'S END-USER TO CONSIDER WHEN APPLYING FOR WALL SIGN PERMITS WITH THE UNDERSTANDING THAT THE CITY'S SIGN CODE MAY FURTHER RESTRICT THE MAXIMUM AREA, LOCATION, AND NUMBER OF PROPOSED SIGNS.
- Q. NO TEMPORARY OR PERMANENT ACCESS WILL BE ALLOWED ON, ADJACENT TO, FROM, OR ACROSS PUBLIC OPEN SPACE AND PUBLIC PARKS, EITHER EXISTING OR LAND TO BE DEDICATED, AS PART OF THE DEVELOPMENT PROJECT.
- R. FENCING SHALL BE INSTALLED ON THE PRIVATE SIDE OF THE PROPERTY LINE ADJACENT TO PUBLIC LANDS, EITHER EXISTING OR LAND TO BE DEDICATED AS PART OF THE DEVELOPMENT PROJECT, PRIOR TO ANY CONSTRUCTION AND GRADING ACTIVITY. TEMPORARY FENCING IS TO BE MAINTAINED AND SHALL BE REMOVED UPON COMPLETION OF CONSTRUCTION. PUBLIC LAND SHALL NOT BE DISTURBED.
- S. DURING THE CONSTRUCTION PROCESS, THE DEVELOPER AND/OR BUILDER WILL PROVIDE EMERGENCY ACCESS ROADWAYS TO WITHIN 150' OF ALL BUILDINGS AND STRUCTURES, PRIOR TO WALL CONSTRUCTION OR BY SUCH TIME THAT COMBUSTIBLES ARE BROUGHT ON SITE. ANY TEMPORARY ACCESS WILL BE CONSTRUCTED USING A MINIMUM OF 8" OF BASE COURSE AND A SUFFICIENT AMOUNT OF "ALL-WEATHER" SURFACE MATERIAL THAT WILL SUPPORT THE LOAD OF FIRE APPARATUS.
- T. DEVELOPER AND BUILDER SHALL PATROL ON A WEEKLY BASIS THE PUBLIC AND OTHER LANDS ADJACENT TO THE DEVELOPMENT DURING THE CONSTRUCTION PROCESS, AND REMOVE CONSTRUCTION DEBRIS TO KEEP THE ADJACENT LANDS CLEAN AND SAFE.
- U. ADDITIONAL PROJECT NOTES MAY BE FOUND THROUGHOUT THE ODP, INCLUDING STANDARD NOTES FOR LANDSCAPING AND IRRIGATION.
- V. THE OVERHEAD UTILITIES ADJACENT TO THE NORTH PROPERTY LINE ARE CONSIDERED A TRANSMISSION MAIN AND IS EXEMPT FROM UNDERGROUNDING PER WMC 11-6-3 (B)(3).



CALL 3 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

DATE: 03/18/2019

**ST MARK VILLAGE
OFFICIAL DEVELOPEMENT PLAN**

03/18/2019
05/20/2019
07/26/2019

THIRD AMENDED OFFICIAL DEVELOPMENT PLAN
LOTS 11, 12, 45, 46, 47 AND 48
HOLLYHURST SUBDIVISION
 A PLANNED UNIT DEVELOPMENT IN THE
 CITY OF WESTMINSTER, COUNTY OF
 ADAMS, STATE OF COLORADO
 SHEET 4 OF 37

PUD EXCEPTIONS:

1. BUILDING SETBACKS:

REQUIREMENT NOT MET IN MULTIPLE AREAS:

- a. THE WEST PROPERTY LINE IS ADJACENT TO THE CITY'S ELEVATED WATER TOWER SITE. GIVEN THE BUILDING HEIGHTS OF 45 FEET, 4 INCHES, THE WEST SETBACK MINIMUM WOULD BE 68 FEET. THE PROPOSED SETBACK ON THE SITE PLAN IS 10 FEET.

JUSTIFICATION: DUE TO THE NATURE AND LONG TERM MUNICIPAL USE OF THE CITY'S HYDROPIILLAR PROPERTY ADJACENT TO THE WEST OF ST MARK VILLAGE, A 10 FOOT SETBACK FROM THE WESTERLY PROPERTY LINE FOR FIRE PROTECTION BEST PRACTICES IS PROVIDED. REDEVELOPMENT OF A MUNICIPAL PROPERTY SERVING A CRITICAL MUNICIPAL FUNCTION TO LARGE AREAS OF THE CITY IS HIGHLY UNLIKELY AND THEREFORE, THE REDUCED SETBACK IS WARRANTED.

- b. THE NORTH PROPERTY LINE IS ADJACENT TO NORTH PARK PRIVATE OPEN SPACE. NORTH PARK IS A RESIDENTIAL NEIGHBORHOOD WITH SINGLE-FAMILY AND TOWNHOME RESIDENCES. GIVEN THE BUILDING HEIGHTS OF 45 FEET, 4 INCHES, THE NORTH SETBACK MINIMUM WOULD BE 68 FEET. THE PROPOSED SETBACK ON THE SITE PLAN IS 5 FEET.

JUSTIFICATION: ADJACENT TO THE NORTHERN PROPERTY LINE OF ST. MARK VILLAGE, THERE EXISTS A 75 FOOT WIDE UTILITY EASEMENT LOCATED ON PROPERTY PLATTED IN THE NORTH PARK SUBDIVISION TO ACCOMMODATE HIGH VOLTAGE UTILITY TRANSMISSION LINES. FROM THE NORTHERN LINE OF THE UTILITY EASEMENT TO THE MOST NORTHERLY BUILDING FACE OF ST MARK VILLAGE, THERE IS A DISTANCE (AND THEREBY AN EFFECTIVE SETBACK DUE TO THE UTILITY EASEMENT BEING UNDEVELOPABLE) OF 80 FEET, WHICH IS IN EXCESS OF THE REQUIRED SETBACK FROM THE NORTHERLY PROPERTY LINE.

- c. THE EAST PROPERTY LINE IS ADJACENT TO FEDERAL BOULEVARD. A 75' BUILDING SETBACK IS REQUIRED FROM ARTERIAL STREETS. THE PROPOSED SETBACK ON THE SITE PLAN IS 39 FEET, 7 1/4 INCHES.

JUSTIFICATION: THE 2013 COMPREHENSIVE PLAN ENVISIONS URBAN PLANNING THAT BRINGS BUILDINGS CLOSER TO THE STREET EDGE, HIGH QUALITY MATERIALS, AND IMPROVED SITE LANDSCAPING AND PEDESTRIAN AMENITIES. AS THE SITE PLAN DEMONSTRATES, ST. MARK VILLAGE ACHIEVES THE OBJECTIVES OF THE COMPREHENSIVE PLAN WITH A SIGNATURE TOWER FACED WITH STONE ALONG FEDERAL BOULEVARD AND ENHANCED LANDSCAPING ALONG THE STREET EDGE TO SCREEN VEHICULAR PARKING AND MOVEMENT ON-SITE WITHIN THE 39 FOOT, 7 1/4 INCH SETBACK.

- d. GIVEN THE BUILDING HEIGHTS OF 45 FEET, 4 INCHES, THE EAST PROPERTY LINE ADJACENT TO THE WISHBONE RESTAURANT PROPERTY WOULD HAVE A 68-FOOT REQUIRED BUILDING SETBACK. THE PROPOSED SETBACK ON THE SITE PLAN IS 10 FEET.

JUSTIFICATION: THE WISHBONE PROPERTY IS A CURRENTLY IMPROVED PARCEL WITH A PARKING LOT ADJACENT TO ST MARK VILLAGE ON THE SOUTHEAST CORNER OF THE SITE. THE SHARED EAST/WEST PROPERTY LINE MAINTAINS A 100 FOOT SETBACK FROM THE SHARED PROPERTY LINE TO ANY BUILDING FACE. THE SHARED NORTH/SOUTH PROPERTY LINE MAINTAINS A 10 FOOT SETBACK FOR FIRE PROTECTION BEST PRACTICES. SHOULD THE WISHBONE PROPERTY GET REDEVELOPED AT SOME POINT IN THE FUTURE, AN EQUIVALENT TEN FOOT SETBACK FOR THE REDEVELOPED PROPERTY WOULD PROVIDE ADEQUATE FIRE PROTECTION FOR ANY USE DEVELOPED. FURTHER, THIS AREA OF ST MARK VILLAGE IS A NON-DOMINANT FACADE WITH LIMITED WINDOW OPENINGS, FURTHER REDUCING THE RISK FOR ANY FUTURE FIRE PROTECTION ISSUES IF THE WISHBONE PROPERTY WERE TO BE REDEVELOPED. THE PROPOSED SETBACK HELPS PROMOTE THE VISUAL APPEARANCE OF A STREET WALL AND IN TURN A BETTER STREETScape ALONG 97TH AVENUE, WHICH IS CRITICAL TO THE PEDESTRIAN EXPERIENCE.

- e. THE REMAINDER OF THE SOUTH BOUNDARY LINE IS ADJACENT TO 97TH AVENUE. GIVEN THE BUILDING HEIGHTS OF 45 FEET, 4 INCHES, THE SOUTH SETBACK MINIMUM WOULD BE 68 FEET. THE PROPOSED SETBACK ON THE SITE PLAN IS 25 FEET.

JUSTIFICATION: THE 2013 COMPREHENSIVE PLAN ENVISIONS URBAN PLANNING THAT BRINGS BUILDINGS CLOSER TO THE STREET EDGE, HIGH QUALITY MATERIALS, AND IMPROVED SITE LANDSCAPING AND PEDESTRIAN AMENITIES. AS THE SITE PLAN DEMONSTRATES, ST. MARK VILLAGE ACHIEVES THE OBJECTIVES OF THE COMPREHENSIVE PLAN WITHIN THE 25 FOOT SETBACK BY BRINGING BUILDINGS CLOSER TO THE STREET EDGE TO CREATE A STREET WALL, INSTALLING BULB-OUTS AT THE SIDEWALK ON BOTH SIDES OF 97TH AVENUE AS A TRAFFIC CALMING SOLUTION AND PEDESTRIAN AMENITY, AND UTILIZING GREEN INFRASTRUCTURE RAIN GARDENS THE ENTIRE FRONTAGE ALONG 97TH AVENUE, WHICH SERVE AS A VISUAL AMENITY USING SUSTAINABLE WATER QUALITY METHODS.

2. LANDSCAPE SETBACK AREAS:

REQUIREMENT NOT MET: 35' LANDSCAPED SETBACK AREA (25' ALONG FEDERAL BLVD.) NOT PROVIDED. NO PARKING IS PERMITTED IN THESE SETBACK AREAS.

JUSTIFICATION: THE 2013 COMPREHENSIVE PLAN ENVISIONS URBAN PLANNING THAT BRINGS BUILDINGS CLOSER TO THE STREET EDGE, HIGH QUALITY MATERIALS, AND IMPROVED SITE LANDSCAPING AND PEDESTRIAN AMENITIES. IN LIEU OF THE 35' LANDSCAPED SETBACK AREA, ENHANCED LANDSCAPING PLANTINGS HAVE BEEN PROVIDED AT A RATE 3 TIMES THE NUMBER OF REQUIRED PLANTINGS AND ADEQUATELY SCREENING ON-SITE VEHICULAR PARKING AND MOVEMENT.

3. SETBACK OF POOL / CLUBHOUSE:

REQUIREMENT NOT MET: 100' SEPARATION BETWEEN POOL/CLUBHOUSE AND PROPERTY LINE.

JUSTIFICATION: PRIVACY LANDSCAPING WILL BE INSTALLED NORTH OF THE POOL LOCATION IN ORDER TO SCREEN THE ACTIVITY AREA. FURTHER, AN EXISTING LANDSCAPING BERM WITH MATURE LANDSCAPING ALREADY EXISTS APPROXIMATELY 16-22 FEET NORTH OF THE PROPOSED POOL LOCATION AND A 75 FOOT WIDE UTILITY EASEMENT PROVIDES ADEQUATE BUFFER TO EXISTING NEIGHBORS TO THE NORTH. IN ADDITION, THE AREA SOUTH OF AN EXISTING FENCE ALONG THE NORTH PROPERTY LINE IS TO BE ADDRESSED BY A FUTURE ODP AMENDMENT WHICH IS EXPECTED TO PROVIDE FOR A SUBSTANTIAL TREE SCREEN IN THIS AREA, PER ACCEPTANCE BY THE NORTH PARK EAST ASSOCIATION.

4. DETACHED SIDEWALKS:

REQUIREMENT NOT MET: NO DETACHED SIDEWALK (MINIMUM 5' WIDE, WITH STREET TREES / LANDSCAPING BETWEEN CURB AND SIDEWALK) PROVIDED ALONG 97TH AVENUE.

JUSTIFICATION: 4 FOOT WIDE ATTACHED SIDEWALKS ALONG 97TH AVENUE ARE ALREADY IN PLACE AND CONSTRUCTED, ARE CONSISTENT WITH THE ENTIRE LENGTH OF 97TH AVENUE FROM FEDERAL TO LOWELL. DETACHING THE SIDEWALKS ALONG 97TH AVENUE WOULD MAKE THE ST MARK VILLAGE PARCEL LOOK OUT OF PLACE WITHIN THE SURROUNDING NEIGHBORHOOD CONTEXT. FURTHER, DUE TO 97TH AVENUE NOT BEING AN ARTERIAL ROADWAY, THE PEDESTRIAN EXPERIENCE IS NOT DIMINISHED AS LIMITED VEHICULAR TRAFFIC EXISTS ALONG THE STRETCH OF 97TH AVENUE BETWEEN FEDERAL AND LOWELL.

5. PARKING:

REQUIREMENT NOT MET: SHORTAGE IN PARKING SPACES PROVIDED; (273 PROVIDED, 347 REQUIRED, 74 SHORT). (NOTE: ON-STREET PARKING SPACES MAY NOT BE COUNTED.)

JUSTIFICATION: PARKING STUDY PROVIDED TO THE CITY OF WESTMINSTER SUPPORTED A PARKING REDUCTION BETWEEN 21% AND 41% LOWER THAN MINIMUM REQUIREMENTS. A PARKING RATIO OF 1.26:1.00 IS UTILIZED, A 21% REDUCTION. THE REDUCTION IS AT A TYPICAL RATE FOR THE METRO AREA.

6. COVERED AND/OR GARAGE PARKING:

REQUIREMENT NOT MET: NO CARPORTS OR GARAGES PROVIDED.

JUSTIFICATION: ST MARK VILLAGE IS TO BE AN AFFORDABLE COMMUNITY AND IN ORDER TO MAINTAIN AFFORDABILITY, REQUESTS COVERED PARKING REQUIREMENTS BE ELIMINATED AND INSTEAD, POTENTIAL FUTURE ROOFTOP SOLAR PHOTOVOLTAIC BE AN ALTERNATIVE PROJECT COMPONENT SHOULD PROJECT BUDGET SAVINGS DURING CONSTRUCTION ALLOW, HELPING TO MAINTAIN AFFORDABILITY OVER THE LONG TERM.

7. LANDSCAPED ENTRY MEDIAN:

REQUIREMENT NOT MET: ENTRANCE LANDSCAPED MEDIAN NOT PROVIDED.

JUSTIFICATION: IN ORDER TO MAINTAIN THE TRADITIONAL DESIGN OF ST MARK VILLAGE, WHICH COMPLIMENTS THE NEIGHBORING ST MARK'S CATHOLIC CHURCH, A MEDIAN/ISLAND HAS BEEN OMITTED HOWEVER, ST MARK VILLAGE FEATURES TWO ENTRY TOWER DESIGN COMPONENTS CENTERED BY A STONE CLUBHOUSE CAPPING THE ENTRY DRIVE TO ACHIEVE THE DESIRED PLACEMAKING AND SITE IDENTIFICATION PURPOSES THAT MEDIAN/ISLANDS PROVIDE AT A PRIMARY ENTRANCE.

8. GROUND-LEVEL LIGHTING:

REQUIREMENT NOT MET: GROUND-LEVEL LIGHTING NOT PROVIDED.

JUSTIFICATION: DUE TO THE INFILL NATURE OF THE DEVELOPMENT, PROPOSED SIDEWALKS ARE IN CLOSE PROXIMITY TO BUILDING LIGHTING THAT WILL SUFFICIENTLY ILLUMINATE GROUND LEVEL PATHWAYS AND ADDITIONAL GROUND LIGHTING IS NOT NEEDED.

9. HOT TUB AND SPLASH PAD:

REQUIREMENT NOT MET: HOT TUB AND SPLASH PAD NOT PROVIDED.

JUSTIFICATION: IN LIEU OF A HOT TUB AND SPLASH PAD, A POOL IS TO BE PROVIDED TO BETTER ACCOMMODATE THE FAMILY DEMOGRAPHICS OF THE TO-BE-CONSTRUCTED COMMUNITY.

10. SWIMMING POOL DECK WIDTHS:

REQUIREMENT NOT MET: MINIMUM DECK WIDTHS AROUND POOL NOT PROVIDED.

JUSTIFICATION: MINIMUM SWIMMING POOL DECK WIDTHS MEET OR EXCEED 2015 INTERNATIONAL SWIMMING POOL AND SPA CODE.

11. BUILDING AND PARKING SPACING:

REQUIREMENT NOT MET: MINIMUM 15' SPACING BETWEEN BUILDINGS AND PARKING AREAS NOT PROVIDED.

JUSTIFICATION: DUE TO THE INFILL NATURE OF THE SITE AND IN AN EFFORT TO PROVIDE AS MUCH ON-SITE PARKING AS FEASIBLE BASED ON NEIGHBORHOOD FEEDBACK THE 15' MINIMUM DIMENSION IS PROPOSED TO VARY FROM 12' TO 45' WITH ENHANCED LANDSCAPING PROVIDED WHERE BUILDING FRONTS AND PARKING INTERACT.

12. PARALLEL BUILDING SPACING:

REQUIREMENT NOT MET: MINIMUM 40' SPACING BETWEEN PARALLEL BUILDINGS NOT PROVIDED.

JUSTIFICATION: PROPERTY IS AN INFILL DEVELOPMENT SITE THAT CANNOT MEET THE INTENT OF THE PROPERTY'S ZONING IF PARALLEL BUILDING SPACING OF 40' IS MAINTAINED. INSTEAD, EVERY OTHER BUILDING HAS A DIFFERENT OVERALL FORM, SCALE, OR ORIENTATION TO BREAK UP THE VIEWING PLANE.

**ST MARK VILLAGE
OFFICIAL DEVELOPEMENT PLAN**

DATE: 03/18/2019

03/18/2019
05/20/2019
07/26/2019

4 OF 37
PROJECT NOTES

CASE # PLN19-0039



CALL 3 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

THIRD AMENDED OFFICIAL DEVELOPMENT PLAN
 LOTS 11, 12, 45, 46, 47 AND 48
 HOLLYHURST SUBDIVISION
 A PLANNED UNIT DEVELOPMENT IN THE
 CITY OF WESTMINSTER, COUNTY OF
 ADAMS, STATE OF COLORADO
 SHEET 5 OF 37

PUD EXCEPTIONS:

13. NON-PARALLEL BUILDING SPACING:

REQUIREMENT NOT MET: MINIMUM 35' SPACING BETWEEN NON-PARALLEL BUILDINGS NOT PROVIDED.

JUSTIFICATION: PROPERTY IS AN INFILL DEVELOPMENT SITE THAT CANNOT MEET THE INTENT OF THE PROPERTY'S ZONING IF PARALLEL BUILDING SPACING OF 35' IS MAINTAINED. INSTEAD, EVERY OTHER BUILDING HAS A DIFFERENT OVERALL FORM, SCALE, OR ORIENTATION TO BREAK UP THE VIEWING PLANE.

14. PRIMARY AND ACCESSORY BUILDING SPACING:

REQUIREMENT NOT MET: MINIMUM 25' SPACING BETWEEN PRIMARY AND ACCESSORY BUILDINGS (CLUBHOUSE) NOT PROVIDED.

JUSTIFICATION: PROPERTY IS AN INFILL DEVELOPMENT SITE THAT CANNOT MEET THE INTENT OF THE PROPERTY'S ZONING IF PARALLEL BUILDING SPACING OF 25' IS MAINTAINED. INSTEAD, EVERY OTHER BUILDING HAS A DIFFERENT OVERALL FORM, SCALE, OR ORIENTATION TO BREAK UP THE VIEWING PLANE.

15. PARKING LOT SETBACKS FROM INTERIOR PROPERTY LINES:

REQUIREMENT NOT MET: PARKING LOT SETBACKS (15') FROM INTERIOR PROPERTY LINES NOT PROVIDED.

JUSTIFICATION: THE WISHBONE RESTAURANT PROPERTY HAS A BLOCK WALL WITH THICK TREE CANOPY ON THE PROPERTY LINE. WHEN COMBINED WITH ADDITIONAL LANDSCAPING TO BE INSTALLED AT ST MARK'S VILLAGE, THERE WILL BE AN ADEQUATE YEAR ROUND BUFFER PROVIDED IN LESS THAN THE 15 FOOT SETBACK REQUIREMENT.

16. TREATMENT OF UPPER-FLOOR BUILDING MASSING:

REQUIREMENT NOT MET: ONE-STORY STEP-DOWN IN BUILDING HEIGHTS NOT PROVIDED.

JUSTIFICATION: IN LIEU OF A STEP-DOWN IN BUILDING HEIGHTS, WHICH WOULD NOT FULFILL THE INTENT OF THE SITE'S ZONING, THE BUILDING DESIGN REFLECTS COMPONENTS OF A STEPPED DESIGN AND OTHER DESIGN ELEMENTS THAT CONVEY A SENSE OF PLACE AT RELATABLE AND RELEVANT HUMAN SCALE, WITH OVERALL HEIGHT BEING ONE STORY HIGHER THAN ADJACENT EXISTING PROPERTY. EACH BUILDING FAÇADE EXHIBITS VARYING ROOF AND PITCH ELEMENTS OF NOT LESS THAN 4 ELEVATIONS. THE COMMUNITY ENTRY FEATURES TWO SIGNATURE TOWERS ON THE BUILDING CORNERS WHICH BREAK THE FAÇADE AND CONVEY SIGNIFICANCE. THE BUILDING ALONG FEDERAL BOULEVARD FEATURES A TOWER THAT TIES INTO THE ENTRYWAY DESIGN FOR CONSISTENCY OF EXPERIENCE. THE TYPICAL FAÇADE DESIGN CONVEYS A STIMULATING AESTHETIC THAT COMPLIMENTS THE NEARBY ST MARK CATHOLIC CHURCH WHILE ALSO FULFILLING THE HIGHEST AND BEST UTILIZATION OF THE ZONING INTENT.

17. EXTERIOR BUILDING MATERIALS AND COLORS:

REQUIREMENT NOT MET: BUILDING EXTERIOR CLADDING SURFACES, INCLUDING AT LEAST 2 FEET AROUND THE BASE OF THE BUILDING, PATIO AND BALCONY AREAS, BUT EXCEPTING WINDOW, DOOR, OR RAILING PORTIONS, ON ALL SIDES OF ALL PRIMARY AND ACCESSORY BUILDINGS, ARE NOT FINISHED WITH THIRTY PERCENT (30%) OR MORE OF ALL WITH MASONRY (BRICK OR STONE).

JUSTIFICATION: IN AN EFFORT TO KEEP THE PROJECT AN AFFORDABLE DEVELOPMENT, THE DESIGN UTILIZES STONE IN PROMINENT PUBLIC FACING LOCATIONS ONLY, INCLUDING SIGNATURE STONE ENTRY TOWERS ALONG 97TH AVENUE AND A STONE TOWER ALONG FEDERAL BOULEVARD IN LIEU OF STONE OR MASONRY ON 30% OF ALL EXTERIOR CLADDING SURFACES. THE DESIGN ALSO UTILIZES TWO ALTERNATING COLOR SCHEMES TO HELP DIFFERENTIATE AND DISTINGUISH EACH BUILDING TYPE.

18. BALCONY ENCLOSURE:

REQUIREMENT NOT MET: BALCONIES ARE FRONTED WITH RAILINGS RATHER THAN OPAQUE WALLS.

JUSTIFICATION: ENCLOSED BALCONIES PROVIDE FOR A DATED LOOK AND FEEL AND ARE NOT IN KEEPING WITH CURRENT ARCHITECTURAL DESIGN OR TENANT EXPECTATIONS. BALCONIES ARE RECESSED WITHIN UNITS (IE NOT PROTRUDING FROM THE BUILDING FAÇADE) PROVIDING ENCLOSURE THROUGH DESIGN AND A BETTER, MORE USABLE TENANT EXPERIENCE.

19. SITE LANDSCAPING PERCENTAGE:

REQUIREMENT NOT MET: MINIMUM OF 40% OF SITE LANDSCAPED IS NOT MET.

JUSTIFICATION: PROPERTY IS AN INFILL DEVELOPMENT SITE THAT CANNOT MEET THE INTENT OF THE PROPERTY'S ZONING IF 40% OF THE SITE IS LANDSCAPED. HOWEVER, THE PROPERTY IS LOCATED WITHIN 500 FEET OF SQUIRES PARK AND APPLICANT HAS PROVIDED USABLE OPEN SPACES ON-SITE THAT WILL BE BETTER BY THE EXPECTANT FAMILY DEMOGRAPHIC, INCLUDING AMENITIES SUCH AS A LANDSCAPED GARDEN AREA WITH DEDICATED SEATING, A BARBEQUE PATIO AND LOUNGE AREA WITH GRILLS, POOL, AND A CHILDREN'S PLAYGROUND.

20. PARKING LOT LANDSCAPING ISLANDS:

REQUIREMENT NOT MET: PROPER PROVISION/QUANTITY, SPACING, AND PLANTING OF PARKING LOT LANDSCAPE ISLANDS NOT PROVIDED.

JUSTIFICATION: PARKING LOT LANDSCAPING ISLANDS ARE PROVIDED AT THE LENGTH OF EACH BUILDING, BUT THE VISUAL SCALE OF PARKING IS MITIGATED THROUGH THE DRIVE WAY DESIGN AND CLUBHOUSE LOCATION. ON THE EAST SIDE OF THE SITE, THE DRIVEWAY JOGS SOUTH TO BREAK UP THE VISUAL PARKING MASS. ON THE WEST SIDE OF THE SITE, THE CLUBHOUSE LOCATION WITHIN TWO PARKING AISLES BREAKS UP THE VISUAL PARKING MASS. WHILE SELECT PARKING AISLES ARE LONGER THAN TYPICAL THEY ARE 1) WITHIN EXISTING PRECEDENT IN THE CITY OF WESTMINSTER, 2) DO NOT FACE PUBLIC RIGHT OF WAY, AND 3) ARE MITIGATED THROUGH INTELLIGENT DESIGN INCLUDING ENHANCED LANDSCAPING WITH TREE AND SHRUB PLANTINGS WHICH EXCEED REQUIRED MINIMUMS BY THREE TIMES.

21. SCREENING OF PARKING:

REQUIREMENT NOT MET: PROVISION OF LANDSCAPED BERMS TO SCREEN PARKING AREAS FROM ADJACENT DEVELOPMENTS AND STREETS.

JUSTIFICATION: DEVELOPMENT'S PARKING IS INTERIOR TO THE SITE WITH SCREENING BEING PROVIDED ON THE NORTH AND SOUTH PROPERTY LINES BY BUILDINGS. TO THE WEST AND EAST, PARKING IS SCREENED BY A COMBINATION OF BUILDINGS AND LANDSCAPING. ALONG THE SHARED PROPERTY BOUNDARY WITH WISHBONE RESTAURANT, SCREENING IS PROVIDED BY AN EXISTING CINDER BLOCK WALL FIVE FEET IN HEIGHT AND EXISTING MATURE LANDSCAPING. FURTHER, ENHANCED LANDSCAPING IS PROVIDED SITE-WIDE TO IMPROVE OVERALL AESTHETIC BETWEEN BUILDING-PARKING INTERACTION AND PARKING-STREET INTERACTION. MINIMUM TREE AND SHRUB PLANTINGS EXCEED REQUIRED MINIMUMS BY THREE TIMES TO PROVIDE ADDITIONAL SCREENING AND BETTER OVERALL AESTHETIC.

22. REMOVAL OF BILLBOARD:

REQUIREMENT NOT MET: BILLBOARD IS A NON-CONFORMING SIGN THAT SHOULD BE REMOVED AS A CONDITION OF DEVELOPMENT.

JUSTIFICATION: PROPERTY OWNER WILL REMOVE SIGN AFTER LEASE TERMINATION IN 2021.

23. MULTI-USE PATHS:

REQUIREMENT NOT MET: NO 10' WIDE MULTI-USE PATHS WITHIN PROJECT.

JUSTIFICATION: AS AN INFILL DEVELOPMENT PROJECT, THE OPPORTUNITY FOR NEW PATHS IS LIMITED BY EXISTING CONDITIONS. AS AN ALTERNATIVE, THE PROJECT HAS PROVIDED ON-SITE LANDSCAPED PATHWAYS AND SEATING AS A DESTINATION RATHER THAN A MULTI-USE PATH.


DATE: 03/18/2019

ST MARK VILLAGE
 OFFICIAL DEVELOPEMENT PLAN

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 PROJECT NOTES

CASE # PLN19-0039



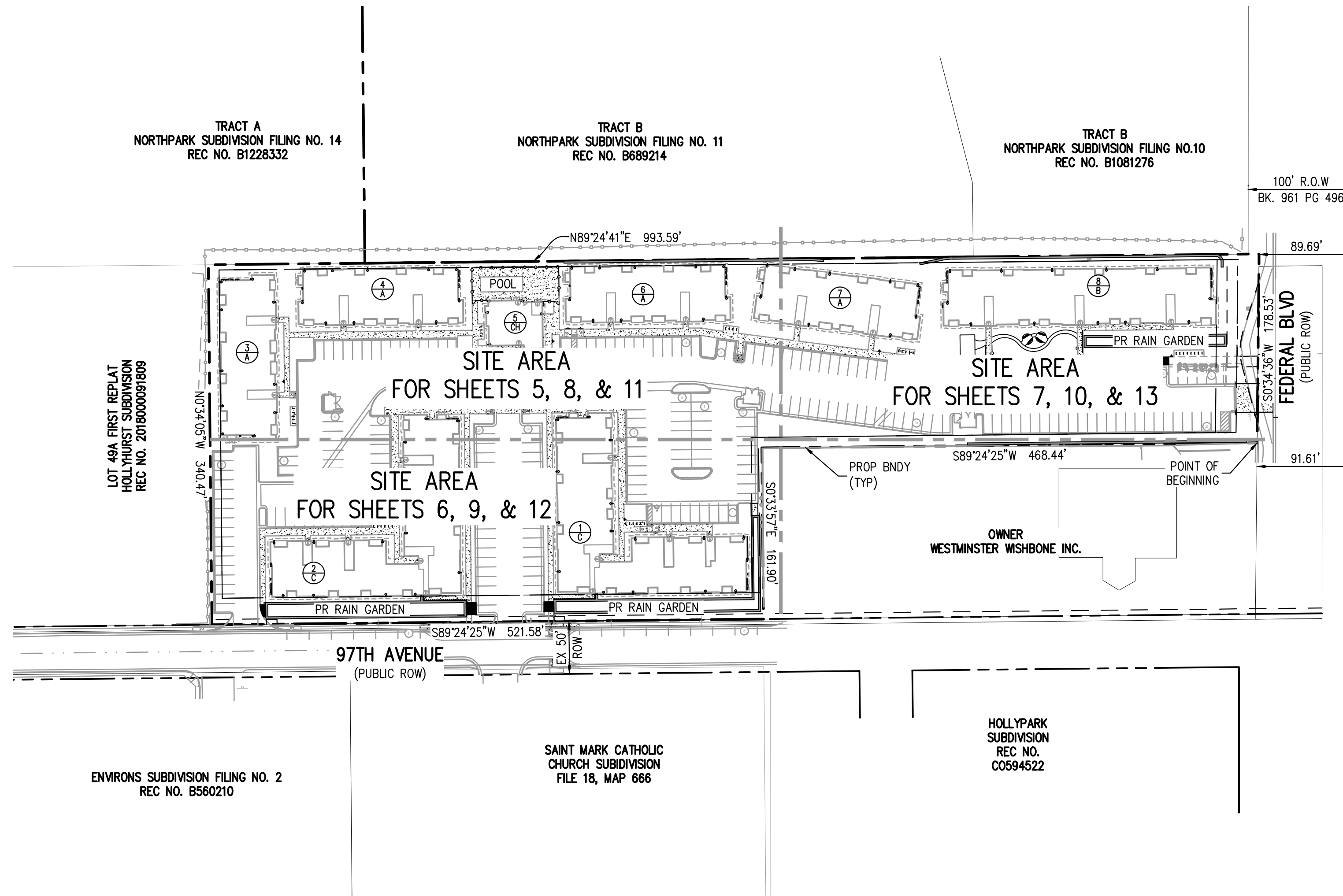
CALL 3 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

THIRD AMENDED OFFICIAL DEVELOPMENT PLAN

LOTS 11, 12, 45, 46, 47 AND 48

HOLLYHURST SUBDIVISION

A PLANNED UNIT DEVELOPMENT IN THE
CITY OF WESTMINSTER, COUNTY OF
ADAMS, STATE OF COLORADO
SHEET 6 OF 37

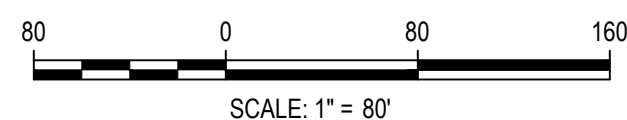


DATE: 03/18/2019

ST MARK VILLAGE
OFFICIAL DEVELOPEMENT PLAN

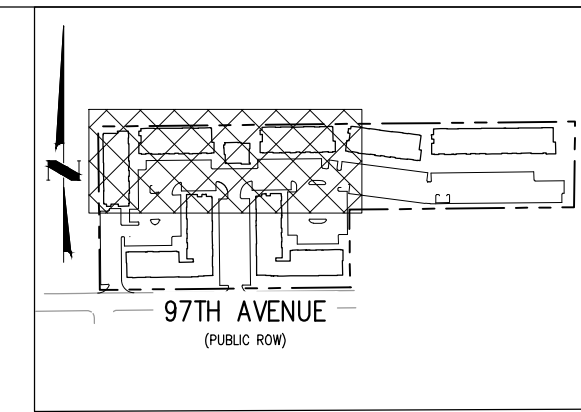
03/18/2019
05/20/2019
07/26/2019

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OVERALL PLAN



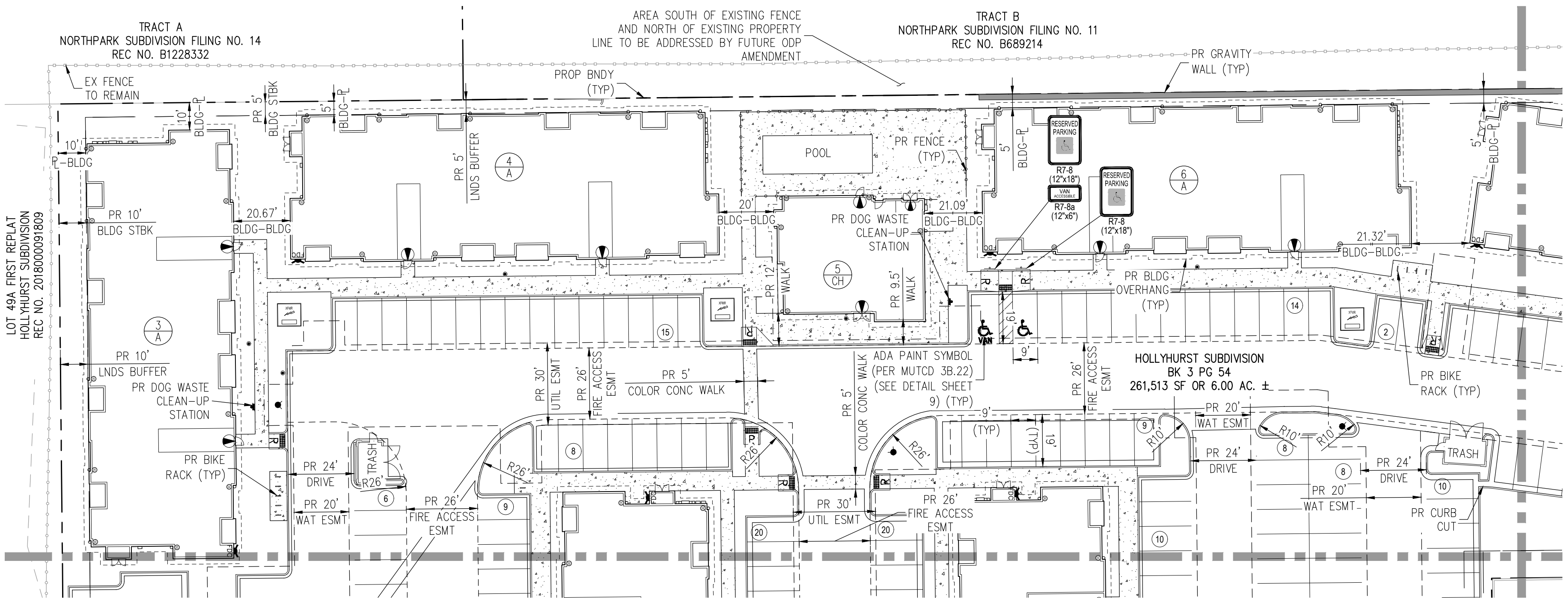
CASE # PLN19-0039

THIRD AMENDED OFFICIAL DEVELOPMENT PLAN
 LOTS 11, 12, 45, 46, 47 AND 48
 HOLLYHURST SUBDIVISION
 A PLANNED UNIT DEVELOPMENT IN THE
 CITY OF WESTMINSTER, COUNTY OF
 ADAMS, STATE OF COLORADO
 SHEET 7 OF 37



KEY MAP
 SCALE: 1" = 400'

HKS HARRIS KOCHER SMITH
 1120 Lincoln Street, Suite 1000
 Denver, Colorado 80203
 P: 303.623.6300 F: 303.623.6311
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MATCHLINE - SEE SHEET 9

DATE: 03/18/2019

BUILDING UNIT COUNT

DWELLING UNIT	BED & BATH	BUILDING 1 (TYPE C)	BUILDING 2 (TYPE C)	BUILDING 3 (TYPE A)	BUILDING 4 (TYPE A)	BUILDING 6 (TYPE A)	BUILDING 7 (TYPE A)	BUILDING 8 (TYPE B)
UNIT 1A.0.0	1BR/1BA	9	9	6	6	6	6	0
UNIT 2A.0.0	2BR/1BA	9	9	6	6	6	6	18
UNIT 2B.0.0	2BR/2BA	9	9	6	6	6	6	0
UNIT 3A.0.0	3BR/2BA	6	6	6	6	6	6	6
UNIT 3B.0.0	3BR/2BA	6	6	0	0	0	0	12
UNIT 3C.0.0	3BR/2BA	3	3	0	0	0	0	0
TOTAL NUMBER OF UNITS								

216 UNITS

MATCHLINE - SEE SHEET 8

NOTES:

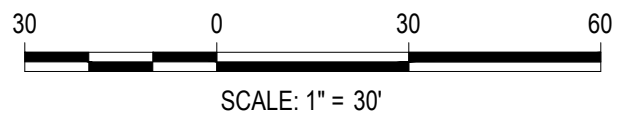
- ALL DETACHED SIDEWALKS ARE 5' UNLESS OTHERWISE DIMENSIONED
- ALL ATTACHED SIDEWALKS ARE 7' UNLESS OTHERWISE DIMENSIONED
- ALL SIDEWALKS ATTACHED TO PARKING STALL ARE 7' UNLESS OTHERWISE DIMENSIONED
- SEE OVERALL UTILITY PLAN & OVERALL GRADING PLAN FOR UTILITY & GRADING INFORMATION
- ALL CURB RADII ARE 2' UNLESS OTHERWISE DIMENSIONED
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- ALL DRIVE WIDTHS ARE 26' UNLESS OTHERWISE DIMENSIONED
- NO RETAINING WALLS WILL BE HIGHER THAN 4' (MEASURED FROM FINISHED GRADE AT BASE). CDOT ROW PERMIT WILL BE REQUIRED DURING CONSTRUCTION
-

PARKING

TYPE	SPACES REQUIRED	SPACES PROVIDED
VEHICULAR, TOTAL (#):	347	273
VEHICULAR, STANDARD SPACES (#):	340	266
VEHICULAR, ACCESSIBLE (#):	5	5
VEHICULAR, VAN ACCESSIBLE (#):	2	2
VEHICULAR, EV CHARGING (#)	0	0
BICYCLE, TOTAL (#)	54	80

LOT COVERAGE

USE	SURFACE TYPE	AREA (SF)	% OF SITE
MULTI-FAMILY DWELLING UNITS	BUILDING COVERAGE	86,538	33.11%
	PAVING AND DRIVES	124,493	47.63%
	LANDSCAPE/OPEN AREA	50,329	19.26%
TOTAL:		261,360	100



ST MARK VILLAGE
 OFFICIAL DEVELOPEMENT PLAN

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 SITE PLAN

NOTES:

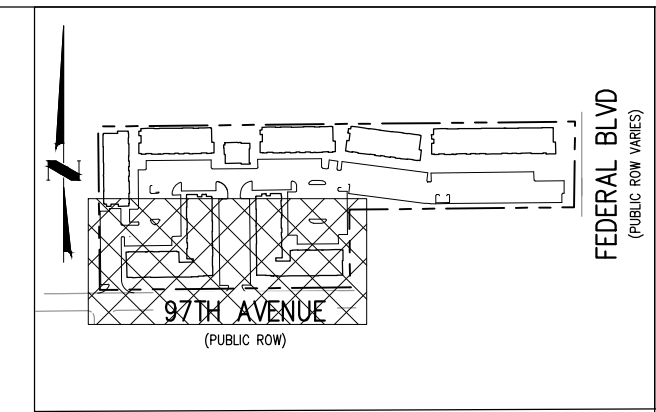
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THIRD AMENDED OFFICIAL DEVELOPMENT PLAN

LOTS 11, 12, 45, 46, 47 AND 48

HOLLYHURST SUBDIVISION

**A PLANNED UNIT DEVELOPMENT IN THE
CITY OF WESTMINSTER, COUNTY OF
ADAMS, STATE OF COLORADO
SHEET 8 OF 37**

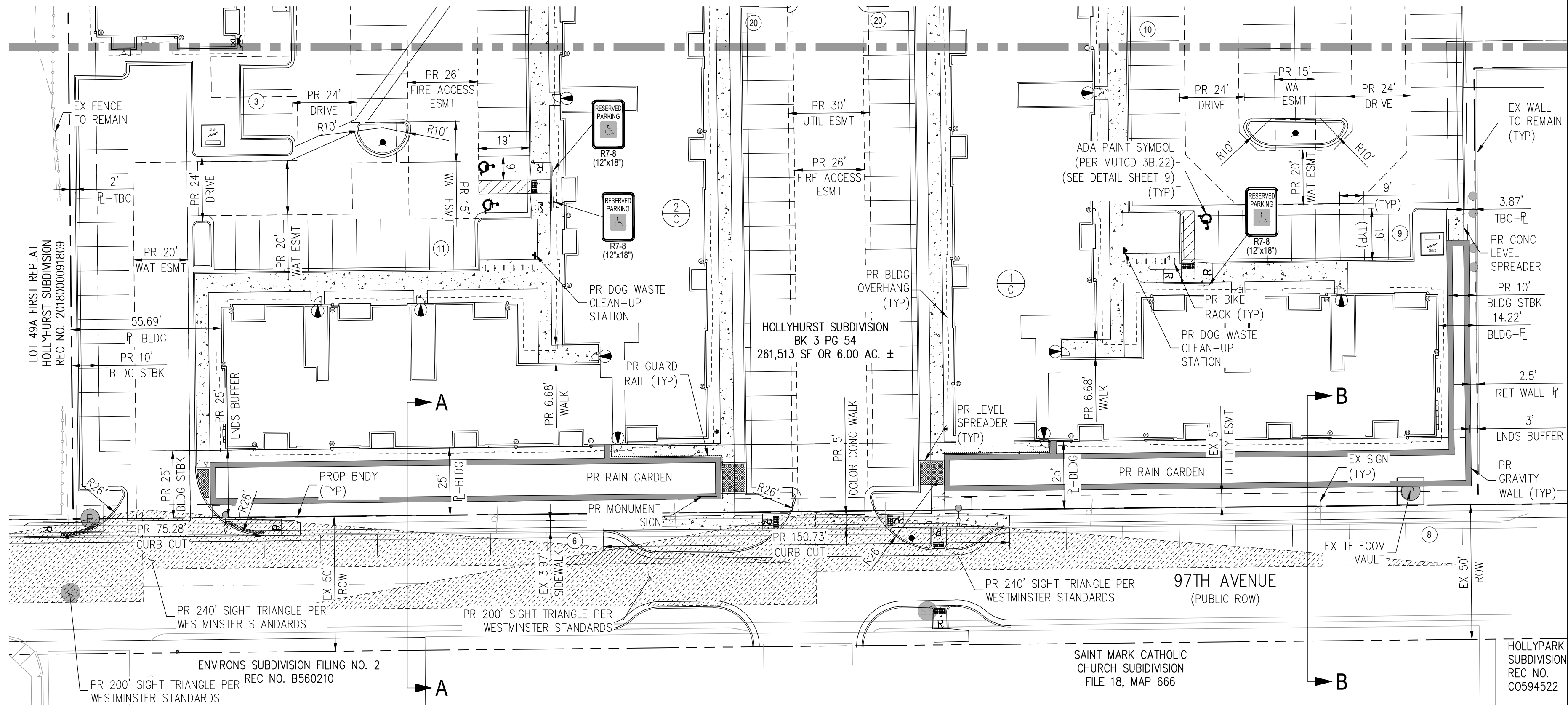


KEY MAP
SCALE: 1" = 400'

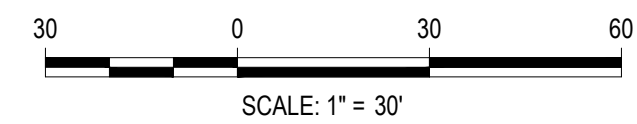
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MATCHLINE - SEE SHEET 7

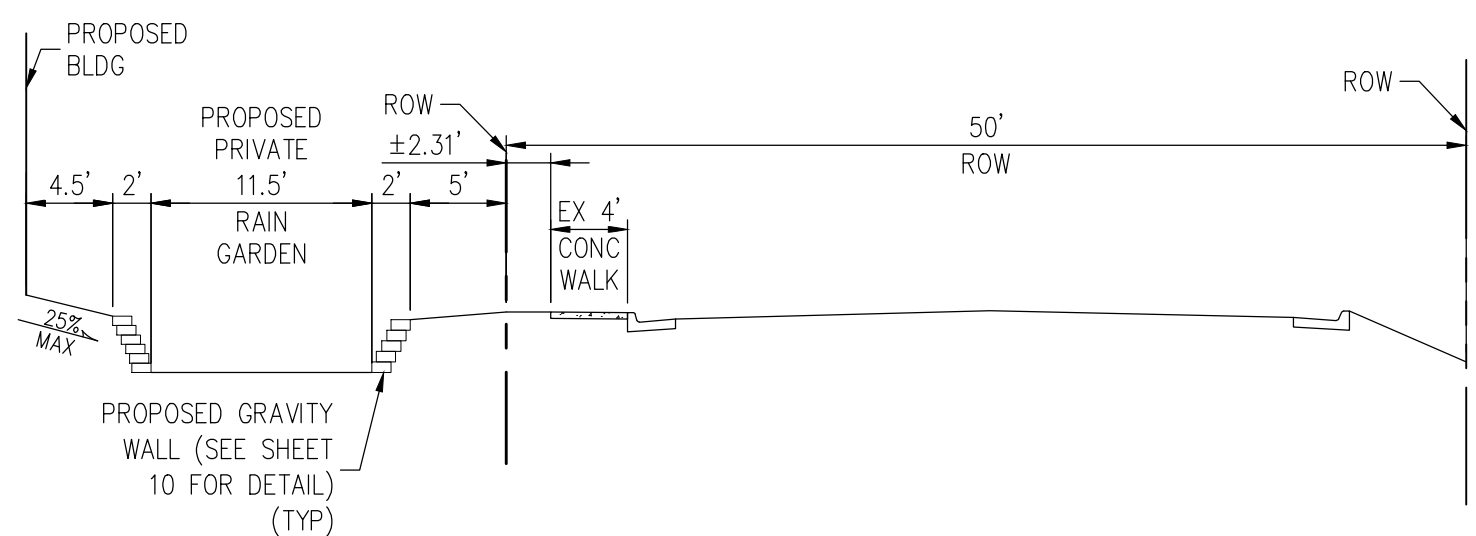
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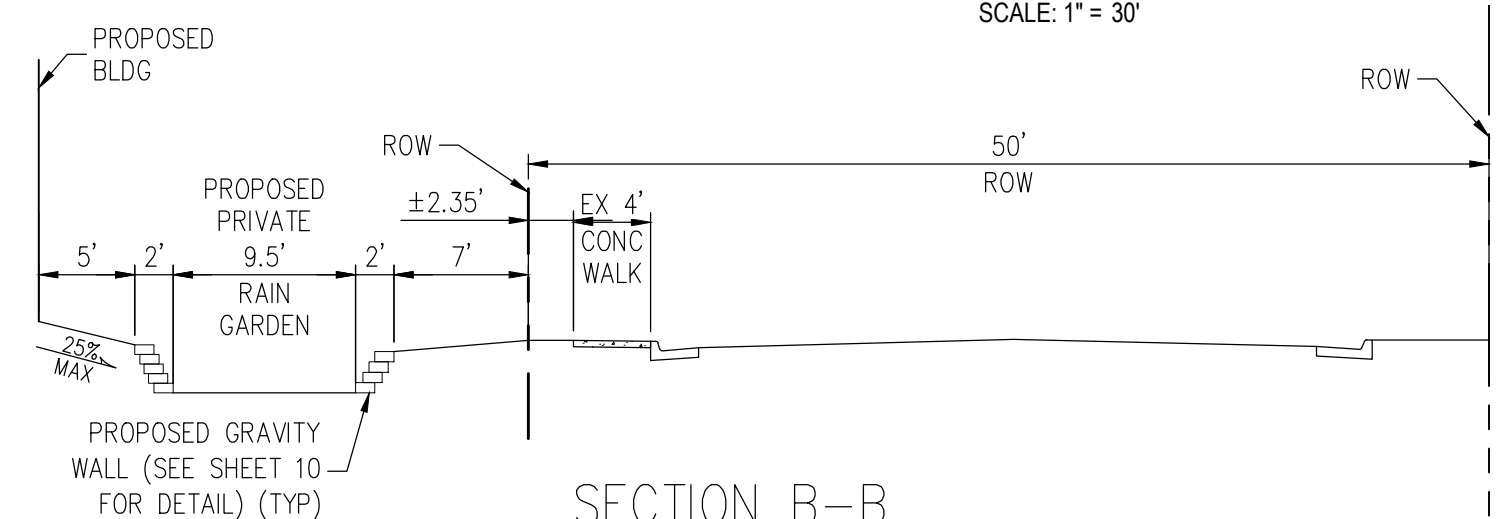
**ST MARK VILLAGE
OFFICIAL DEVELOPEMENT PLAN**



SCALE: 1" = 30'



SECTION A-A
N.T.S.



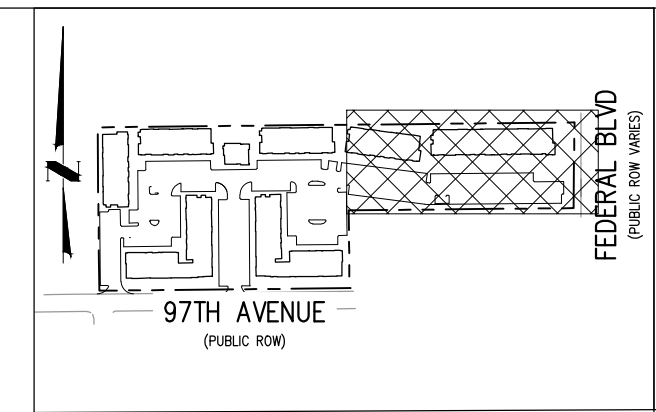
SECTION B-B
N.T.S.

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SITE PLAN

THIRD AMENDED OFFICIAL DEVELOPMENT PLAN
 LOTS 11, 12, 45, 46, 47 AND 48
 HOLLYHURST SUBDIVISION
 A PLANNED UNIT DEVELOPMENT IN THE
 CITY OF WESTMINSTER, COUNTY OF
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 SHEET 9 OF 37



KEY MAP
 SCALE: 1" = 400'

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 Denver, Colorado 80203
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MATCHLINE - SEE SHEET 7

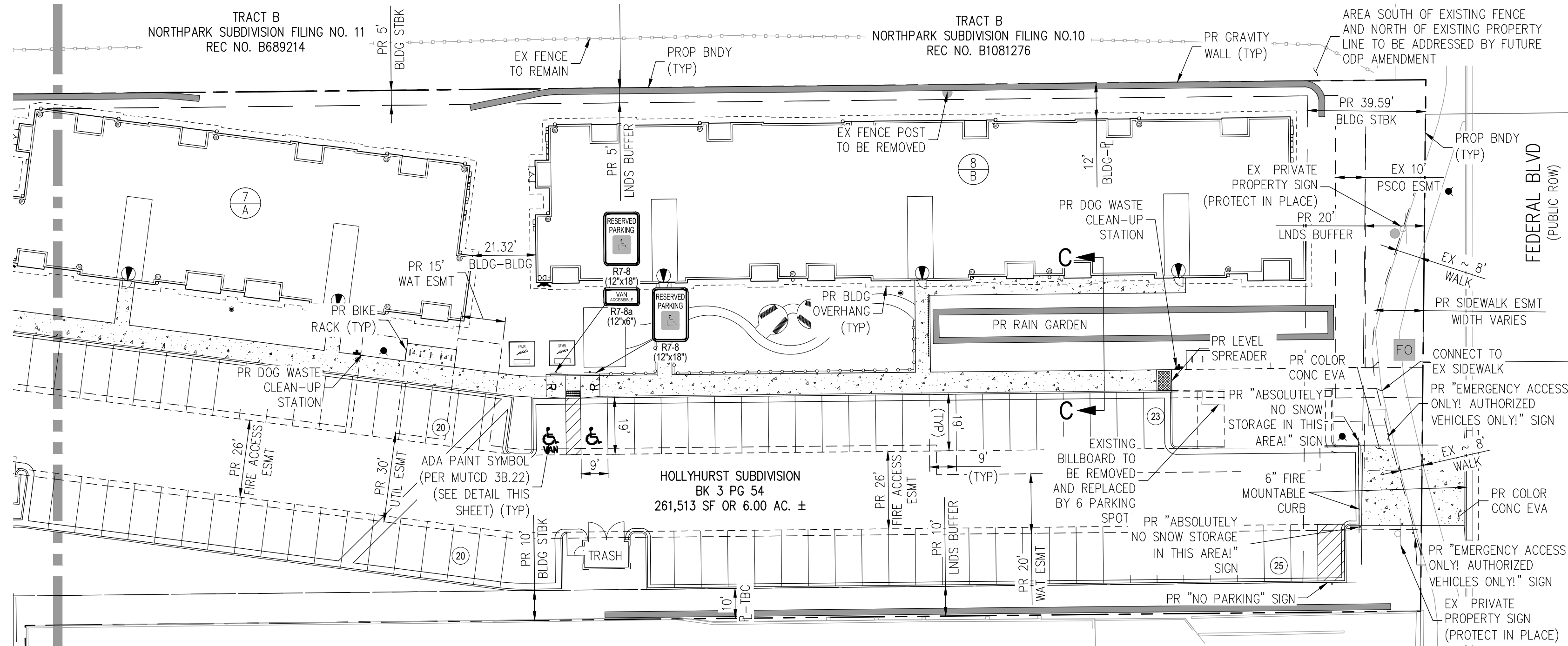
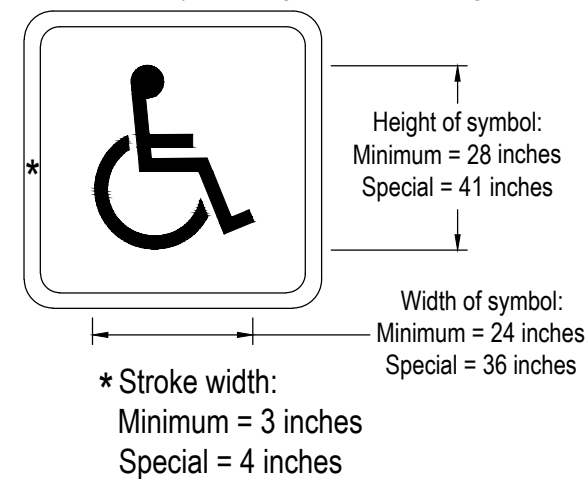
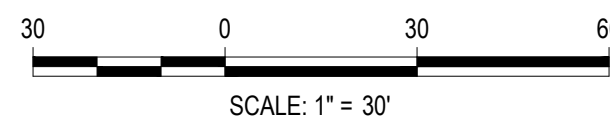
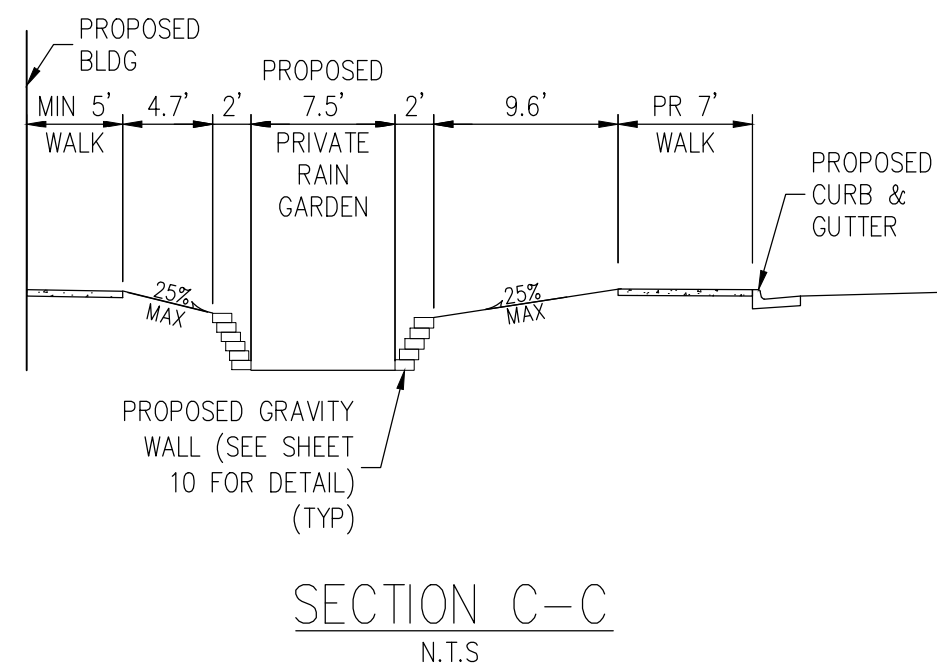


Figure 3B-22. International Symbol of Accessibility Parking Space Marking



*REFER TO MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) FIGURE 3B.22 INTERNATIONAL SYMBOL OF ACCESSIBILITY PARKING SPACE MARKING FOR ADDITIONAL INFORMATION.



NOTES:

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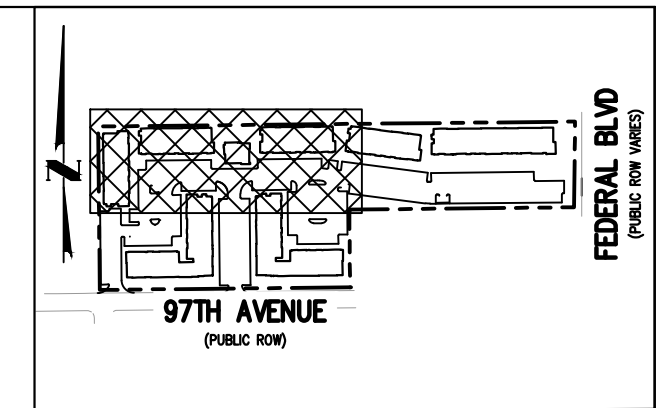
ST MARK VILLAGE
 OFFICIAL DEVELOPEMENT PLAN

03/18/2019
 05/20/2019
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 SITE PLAN

CASE # PLN19-0039

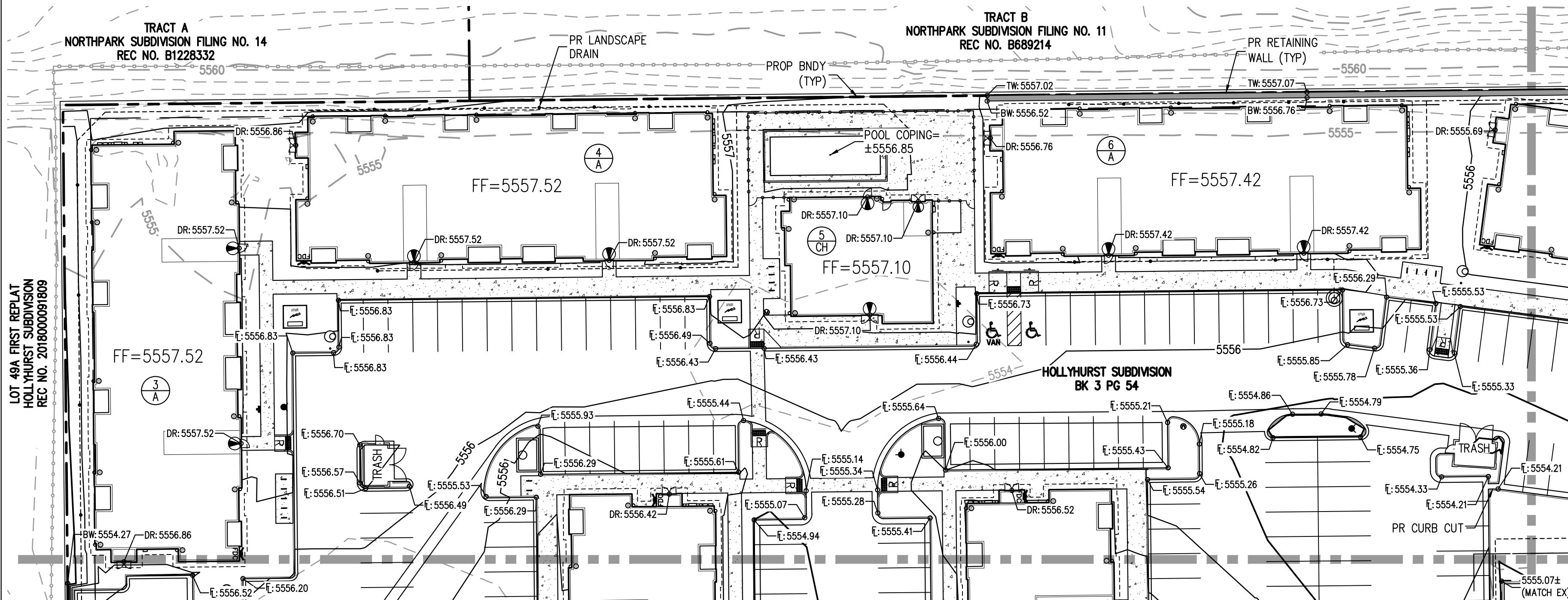
THIRD AMENDED OFFICIAL DEVELOPMENT PLAN
 LOTS 11, 12, 45, 46, 47 AND 48
 HOLLYHURST SUBDIVISION
 A PLANNED UNIT DEVELOPMENT IN THE
 CITY OF WESTMINSTER, COUNTY OF
 ADAMS, STATE OF COLORADO
 SHEET 10 OF 37



KEY MAP
 SCALE: 1" = 400'

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 1120 Lincoln Street, Suite 1000
 Denver, Colorado 80203
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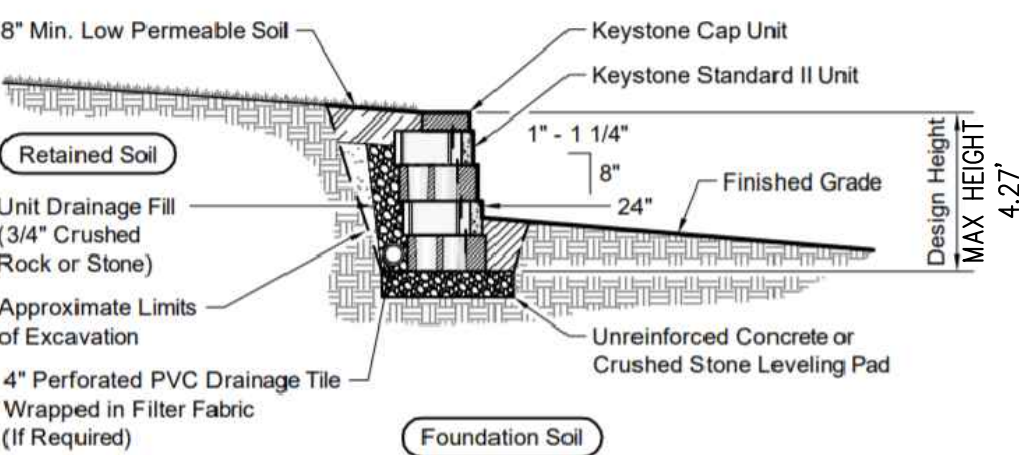
DATE: 03/18/2019



MATCHLINE - SEE SHEET 12

MATCHLINE - SEE SHEET 11

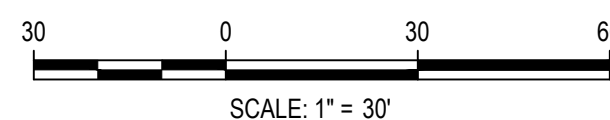
LOT 49A FIRST REPLAT
 HOLLYHURST SUBDIVISION
 REC NO. 201800091809



Typical Gravity Wall Section
 Standard II Unit - 1" Setback

NOTES:

- SEE OVERALL UTILITY PLAN & OVERALL SITE PLAN FOR UTILITY & SITE INFORMATION
- ALL STORM INFRASTRUCTURE WITHIN THE PROPERTY LINES IS PRIVATE.



SCALE: 1" = 30'

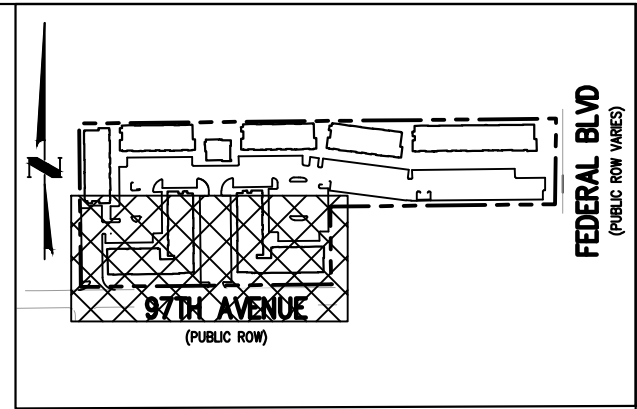
ST MARK VILLAGE
 OFFICIAL DEVELOPEMENT PLAN

03/18/2019
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 GRADING PLAN

CASE # PLN19-0039

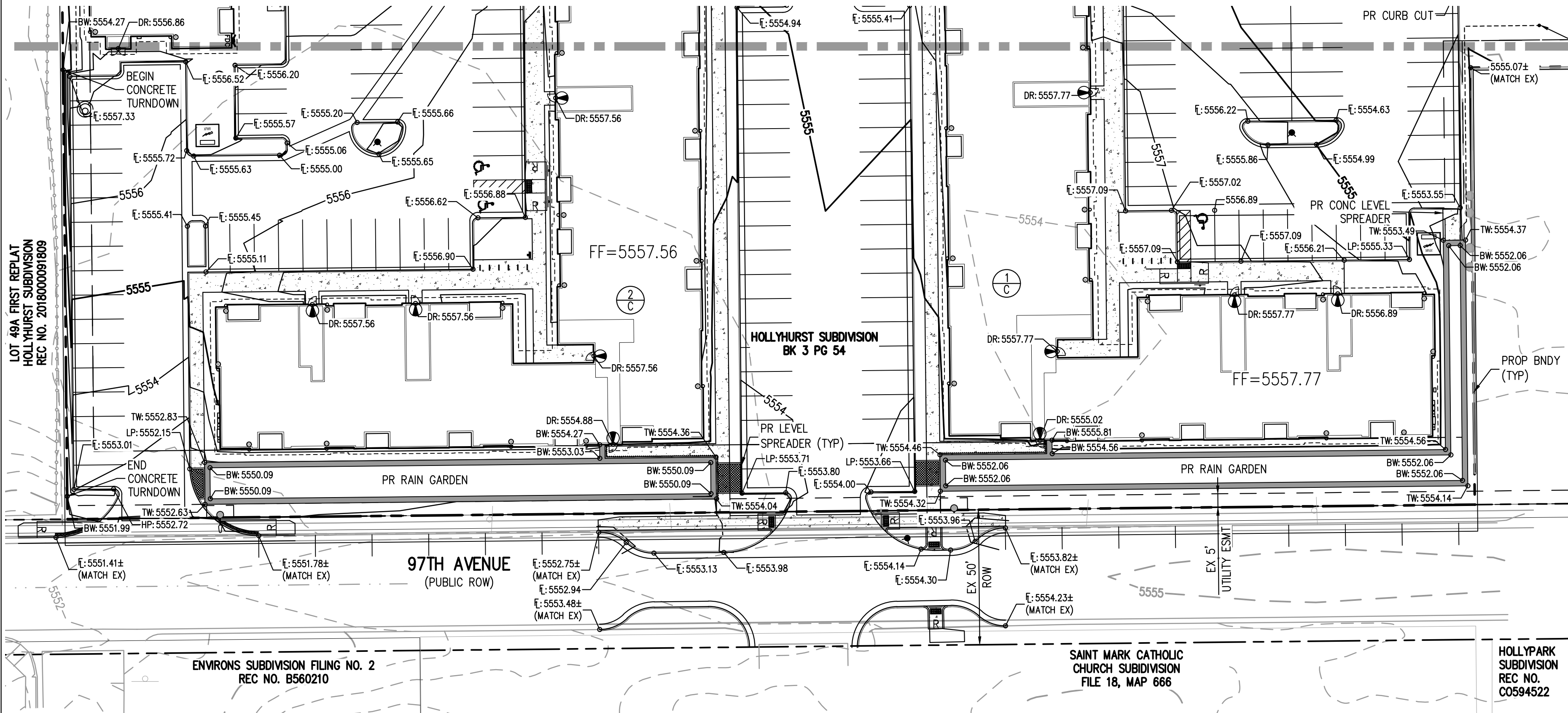
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 HOLLYHURST SUBDIVISION
 A PLANNED UNIT DEVELOPMENT IN THE
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 SHEET 11 OF 37



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 1120 Lincoln Street, Suite 1000
 Denver, Colorado 80203
 P: 303.623.6300 F: 303.623.6311
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KEY MAP
 SCALE: 1" = 400'

MATCHLINE - SEE SHEET 10



LOT 49A FIRST REPLAT
 HOLLYHURST SUBDIVISION
 REC NO. 201800091809

HOLLYHURST SUBDIVISION
 BK 3 PG 54

ENVIRONS SUBDIVISION FILING NO. 2
 REC NO. B560210

SAINT MARK CATHOLIC
 CHURCH SUBDIVISION
 FILE 18, MAP 666

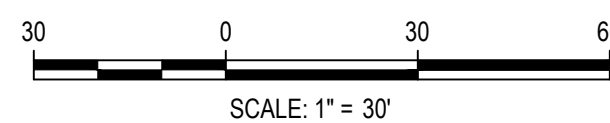
HOLLYPARK
 SUBDIVISION
 REC NO.
 C0594522

ST MARK VILLAGE
 OFFICIAL DEVELOPEMENT PLAN

DATE: 03/18/2019

NOTES:

- SEE OVERALL UTILITY PLAN & OVERALL SITE PLAN FOR UTILITY & SITE INFORMATION.
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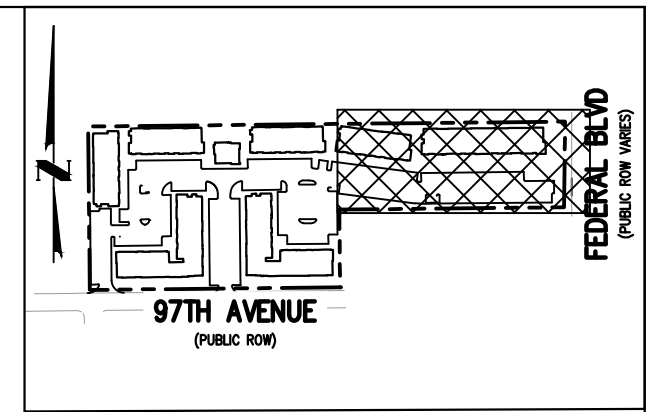


CASE # PLN19-0039

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 05/20/2019
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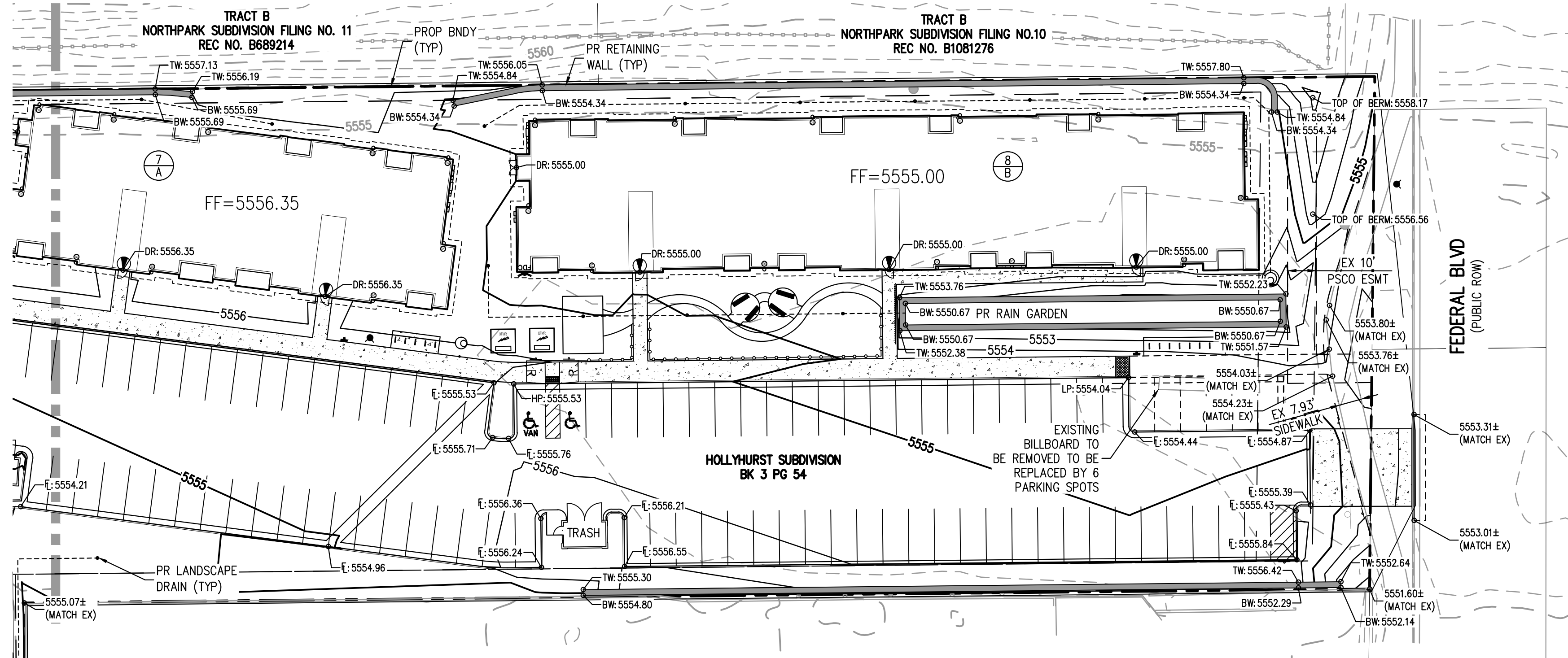
11 OF 37
 GRADING PLAN

THIRD AMENDED OFFICIAL DEVELOPMENT PLAN
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 HOLLYHURST SUBDIVISION
 A PLANNED UNIT DEVELOPMENT IN THE
 CITY OF WESTMINSTER, COUNTY OF
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 SHEET 12 OF 37



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 KOCHER
 SMITH
 1120 Lincoln Street, Suite 1000
 Denver, Colorado 80203
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MATCHLINE - SEE SHEET 10

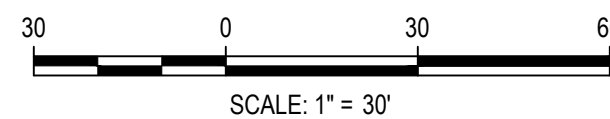


DATE: 03/18/2019

ST MARK VILLAGE
 OFFICIAL DEVELOPEMENT PLAN

NOTES:

- SEE OVERALL UTILITY PLAN & OVERALL SITE PLAN FOR UTILITY & SITE INFORMATION.
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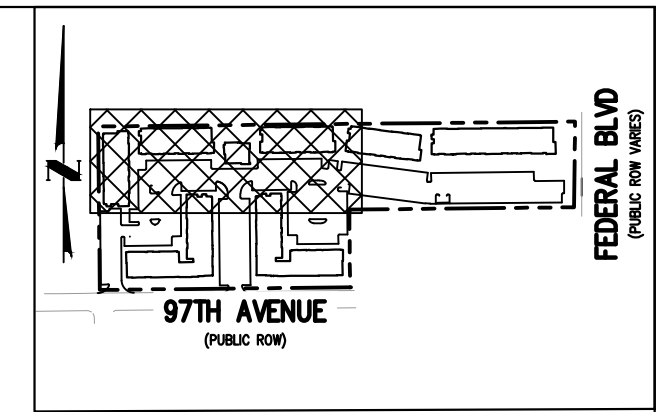


CASE # PLN19-0039

03/18/2019
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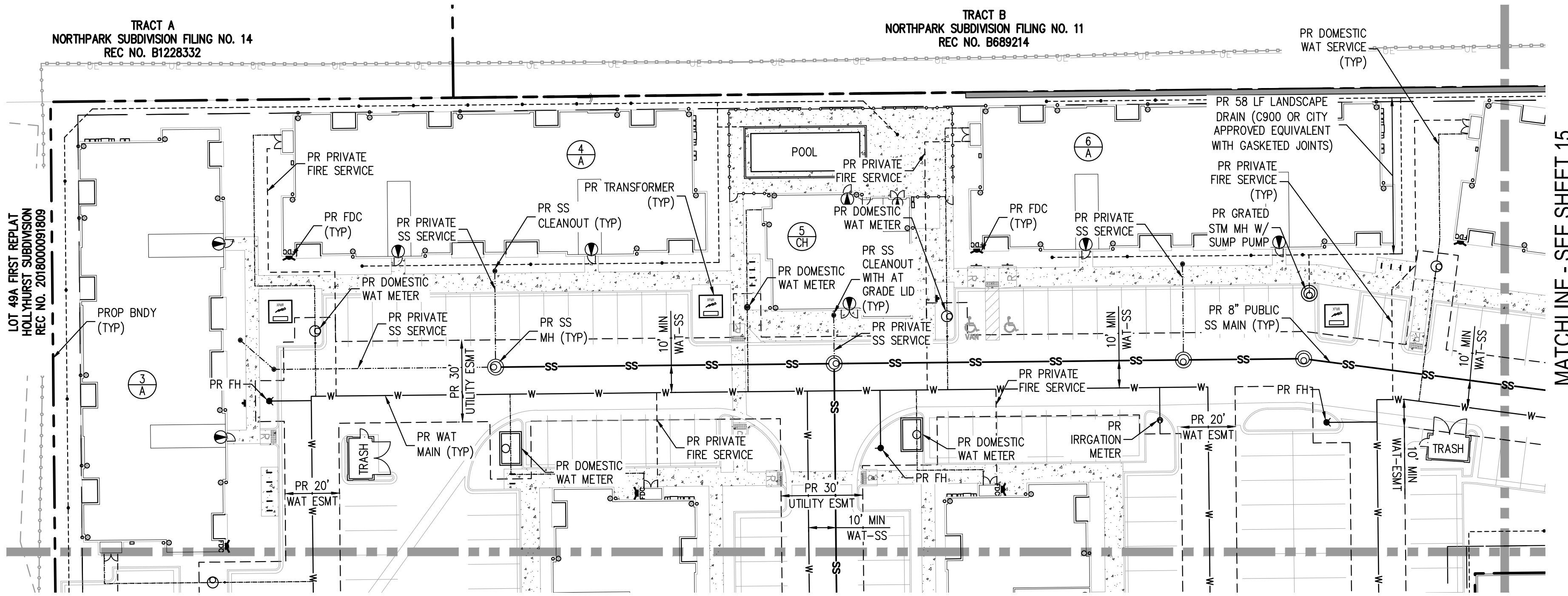
12 OF 37
 GRADING PLAN

THIRD AMENDED OFFICIAL DEVELOPMENT PLAN
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 A PLANNED UNIT DEVELOPMENT IN THE
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 SHEET 13 OF 37



KEY MAP
 SCALE: 1" = 400'

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TRACT A
 NORTH PARK SUBDIVISION FILING NO. 14
 REC NO. B1228332

TRACT B
 NORTH PARK SUBDIVISION FILING NO. 11
 REC NO. B689214

LOT 49A FIRST REPLAT
 HOLLYHURST SUBDIVISION
 REC NO. 2018000091809

MATCHLINE - SEE SHEET 15

MATCHLINE - SEE SHEET 14

LEGEND:

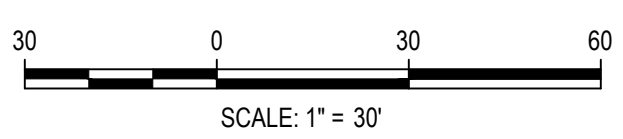
RIGHT-OF-WAY		PROPOSED (PR) SANITARY SEWER MAIN AND MANHOLE	
EXISTING WATER MAIN, VALVE AND METER		PROPOSED (PR) UNDERGROUND ELECTRIC	
EXISTING FIRE HYDRANT		PROPOSED (PR) FIRE HYDRANT	
EXISTING SANITARY SEWER MAIN AND MANHOLE		PROPOSED (PR) FIRE SERVICE	
EXISTING STORM SEWER MAIN AND MANHOLE		PROPOSED (PR) DOMESTIC SERVICE W/METER	
EXISTING UNDERGROUND ELECTRIC		PROPOSED (PR) LANDSCAPE DRAIN W/ MANHOLE	
EXISTING UNDERGROUND COMMUNICATION		PROPOSED (PR) SANITARY SEWER SERVICE W/CLEANOUT	
EXISTING FIBER OPTIC RISER		ABANDON UTILITY	
EXISTING COMMUNICATION PEDESTAL			

NOTES:

- SEE OVERALL GRADING PLAN & OVERALL SITE PLAN FOR GRADING & SITE INFORMATION.
- POOL FLOW DISCHARGED TO THE SANITARY SEWER WILL BE RESTRICTED TO 50 GALLONS PER MINUTE. A PRIVATELY OWNED FLOW RESTRICTION DEVICE ON THE POOL DRAIN AND BACKWASH LINES IS REQUIRED.
- TRANSFORMER LOCATIONS TO BE APPROVED BY XCEL.

OFFSITE SANITARY SEWER NOTE:

- OFFSITE SANITARY SEWER MAIN IMPROVEMENTS ARE BEING TRIGGERED AS A PART OF THIS DEVELOPMENT. DEVELOPER IS RESPONSIBLE FOR OFFSITE IMPROVEMENTS DEEMED NECESSARY AND REASONABLE.



CASE # PLN19-0039

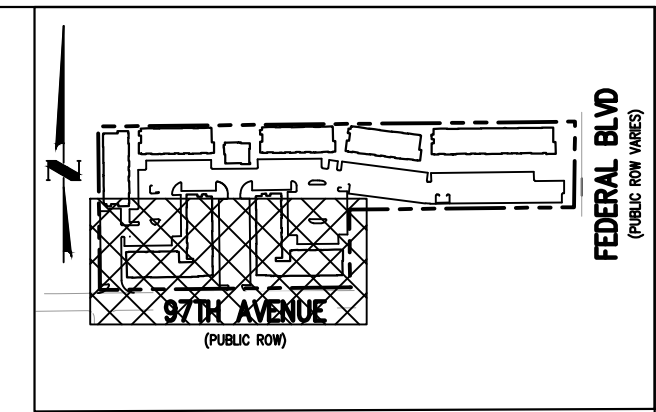
ST MARK VILLAGE
 OFFICIAL DEVELOPEMENT PLAN

03/18/2019
 05/20/2019
 07/26/2019

13 OF 37
 UTILITY PLAN

DATE: 03/18/2019

THIRD AMENDED OFFICIAL DEVELOPMENT PLAN
 LOTS 11, 12, 45, 46, 47 AND 48
 HOLLYHURST SUBDIVISION
 A PLANNED UNIT DEVELOPMENT IN THE
 CITY OF WESTMINSTER, COUNTY OF
 ADAMS, STATE OF COLORADO
 SHEET 14 OF 37

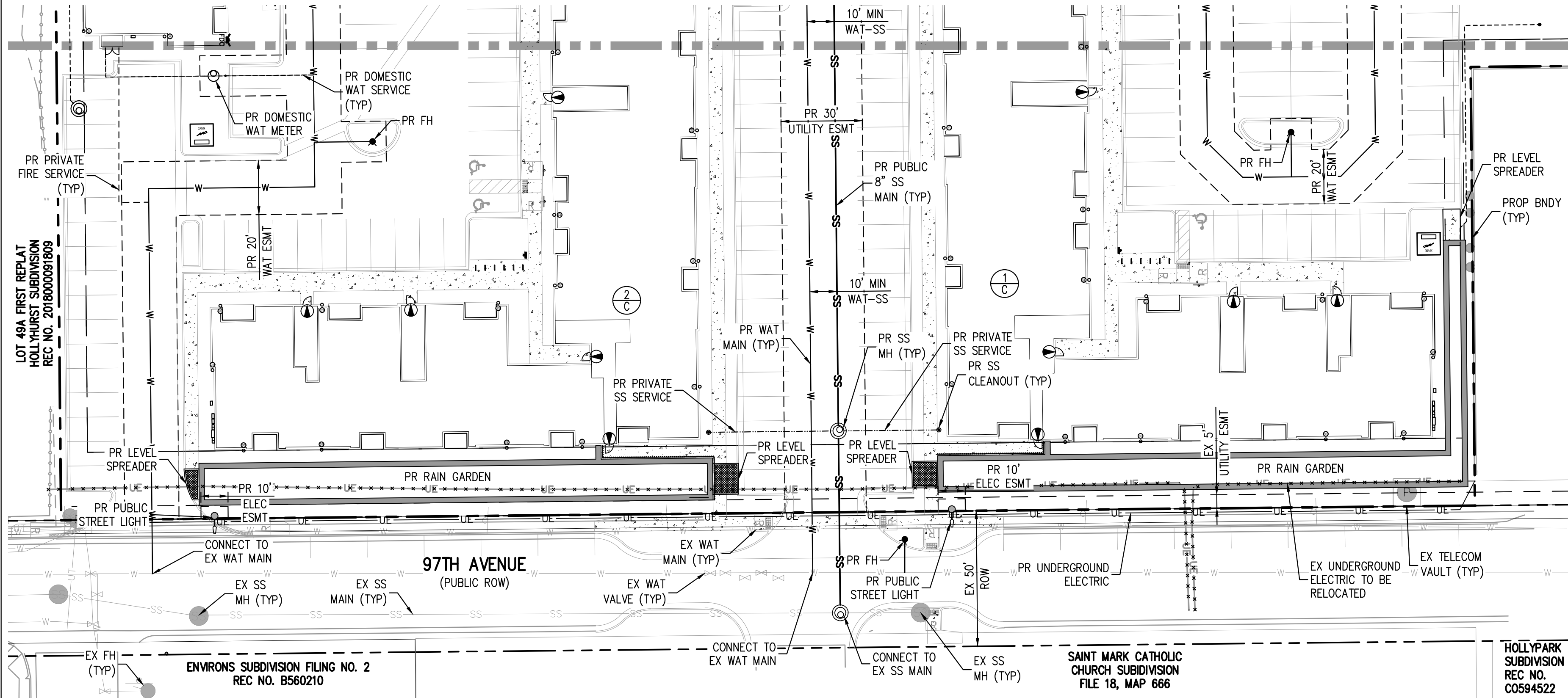


KEY MAP
 SCALE: 1" = 400'

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 Denver, Colorado 80203
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MATCHLINE - SEE SHEET 13

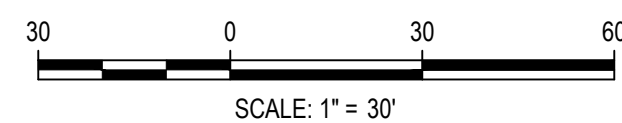


ST MARK VILLAGE
 OFFICIAL DEVELOPEMENT PLAN

LEGEND:

- RIGHT-OF-WAY
- EXISTING WATER MAIN, VALVE AND METER
- EXISTING FIRE HYDRANT
- EXISTING SANITARY SEWER MAIN AND MANHOLE
- EXISTING STORM SEWER MAIN AND MANHOLE
- EXISTING UNDERGROUND ELECTRIC
- EXISTING UNDERGROUND COMMUNICATION
- EXISTING FIBER OPTIC RISER
- EXISTING COMMUNICATION PEDESTAL
- PROPOSED STREET LIGHT

- PROPOSED (PR) SANITARY SEWER MAIN AND MANHOLE
- PROPOSED (PR) UNDERGROUND ELECTRIC
- PROPOSED (PR) FIRE HYDRANT
- PROPOSED (PR) FIRE SERVICE
- PROPOSED (PR) DOMESTIC SERVICE W/METER
- PROPOSED (PR) LANDSCAPE DRAIN W/ MANHOLE
- PROPOSED (PR) SANITARY SEWER SERVICE W/CLEANOUT
- ABANDON UTILITY



NOTES:

1. SEE OVERALL GRADING PLAN & OVERALL SITE PLAN FOR GRADING & SITE INFORMATION.
2. POOL FLOW DISCHARGED TO THE SANITARY SEWER WILL BE RESTRICTED TO 50 GALLONS PER MINUTE. A PRIVATELY OWNED FLOW RESTRICTION DEVICE ON THE POOL DRAIN AND BACKWASH LINES IS REQUIRED.
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CASE # PLN19-0039

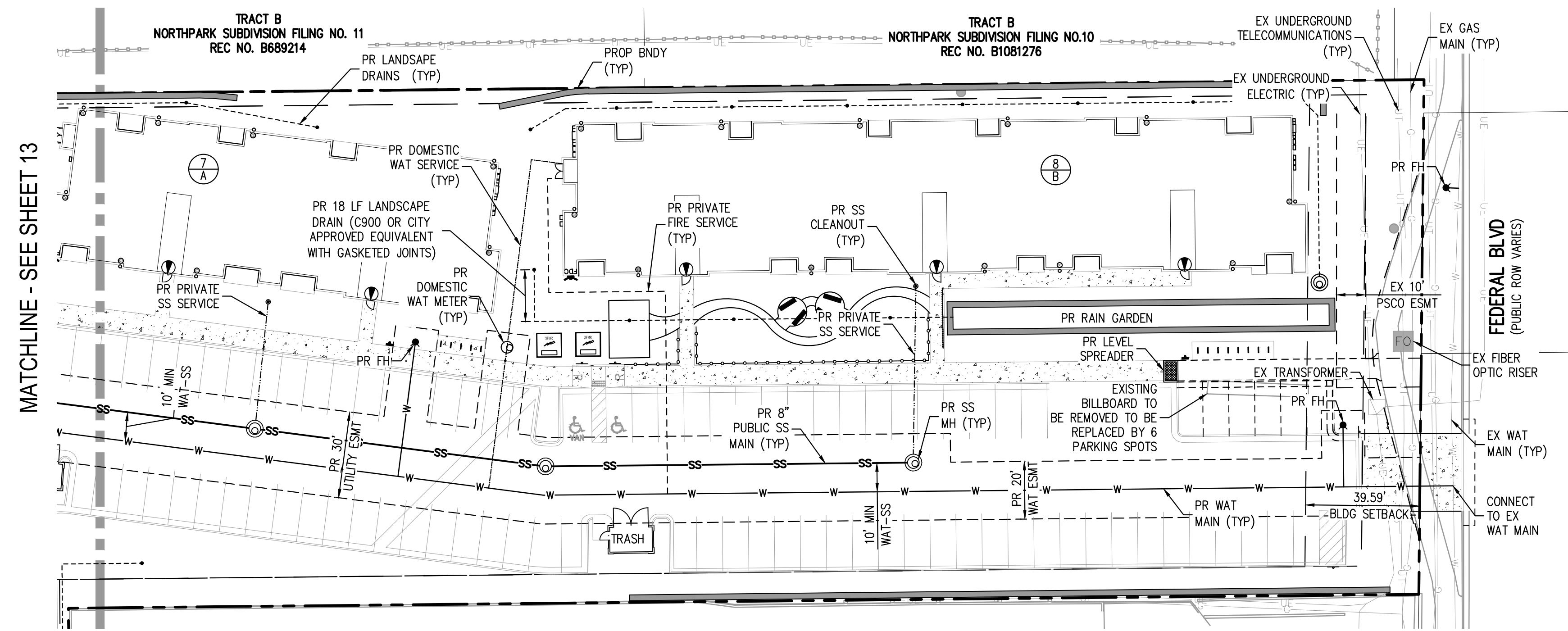
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14 OF 37
 UTILITY PLAN

THIRD AMENDED OFFICIAL DEVELOPMENT PLAN
LOTS 11, 12, 45, 46, 47 AND 48
HOLLYHURST SUBDIVISION
 A PLANNED UNIT DEVELOPMENT IN THE
 CITY OF WESTMINSTER, COUNTY OF
 ADAMS, STATE OF COLORADO
 SHEET 15 OF 37

KEY MAP
SCALE: 1" = 400'

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LEGEND:

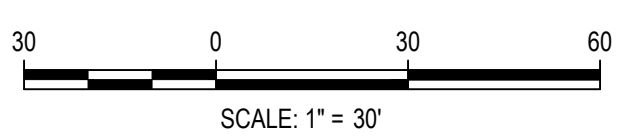
RIGHT-OF-WAY		PROPOSED (PR) SANITARY SEWER MAIN AND MANHOLE	
EXISTING WATER MAIN, VALVE AND METER		PROPOSED (PR) UNDERGROUND ELECTRIC	
EXISTING FIRE HYDRANT		PROPOSED (PR) FIRE HYDRANT	
EXISTING SANITARY SEWER MAIN AND MANHOLE		PROPOSED (PR) FIRE SERVICE	
EXISTING STORM SEWER MAIN AND MANHOLE		PROPOSED (PR) DOMESTIC SERVICE W/METER	
EXISTING UNDERGROUND ELECTRIC		PROPOSED (PR) LANDSCAPE DRAIN W/ MANHOLE	
EXISTING UNDERGROUND COMMUNICATION		PROPOSED (PR) SANITARY SEWER SERVICE W/CLEANOUT	
EXISTING FIBER OPTIC RISER		ABANDON UTILITY	
EXISTING COMMUNICATION PEDESTAL			

NOTES:

- SEE OVERALL GRADING PLAN & OVERALL SITE PLAN FOR GRADING & SITE INFORMATION.
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MATCHLINE - SEE SHEET 13

DATE: 03/18/2019

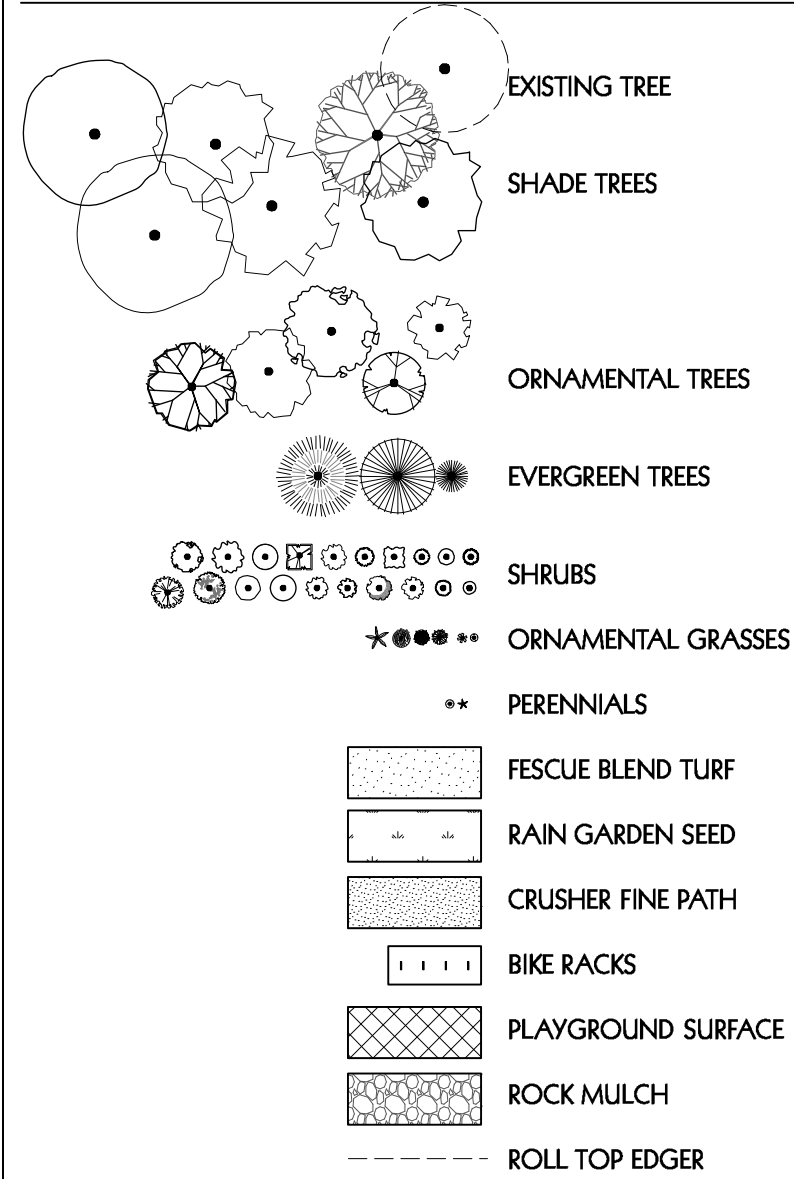
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OFFICIAL DEVELOPEMENT PLAN

03/18/2019
05/20/2019
07/26/2019

CASE # PLN19-0039

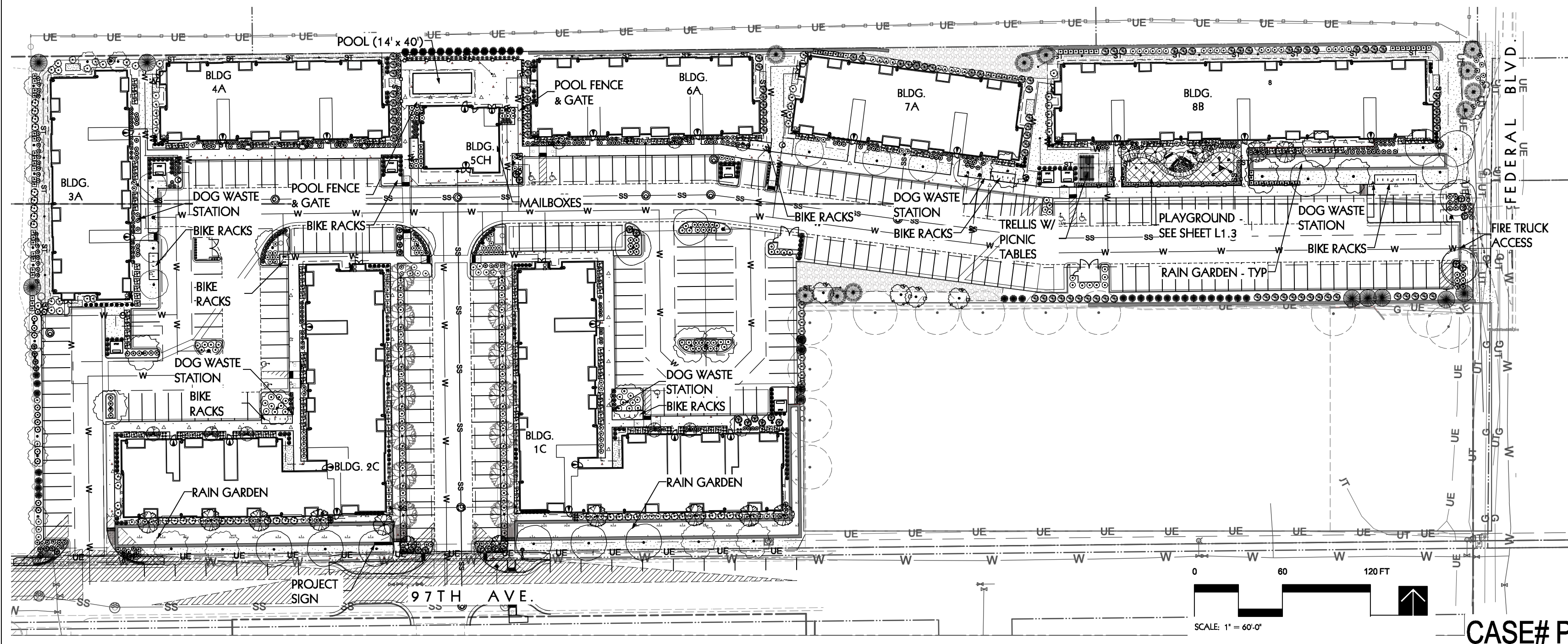
15 OF 37
UTILITY PLAN

LEGEND:



THIRD AMENDED OFFICIAL DEVELOPMENT PLAN
LOTS 11, 12, 45, 46, 47 AND 48
HOLLYHURST SUBDIVISION
 A PLANNED UNIT DEVELOPMENT IN THE
 CITY OF WESTMINSTER, COUNTY OF
 ADAMS, STATE OF COLORADO
 SHEET 16 OF 37

LANDSCAPE REQUIREMENTS: 07/31/19		
OVERALL SITE:		
LANDSCAPING	TOTAL SITE: 261,360 SF	
STREET TREE PLANTING:	REQUIRED	PROVIDED/COMMENTS
97TH STREET	1 TREE + 3 SHRUBS / 550 SF OF ROW AREA = 2,745 SF - 5 TREES + 15 SHRUBS	10 TREES PROVIDED IN LIEU OF SHRUBS
FEDERAL BLVD.	1 TREE + 3 SHRUBS / 550 SF OF ROW AREA = 1,837 SF - 3 TREES + 9 SHRUBS	4 TREES + 9 SHRUBS PROVIDED
MINIMUM PLANT SIZES:	REQUIRED	PROVIDED/COMMENTS
	1 TREE + 3 SHRUBS / 550 SF OF LANDSCAPE AREA = 50,329 SF - 92 TREES + 275 SHRUBS	173 TREES + 1315 SHRUBS
DECIDUOUS TREES	2" CAL. (NOT MORE THAN 20% OF EACH SPECIES)	2" CAL. = 33 TREES PROVIDED
DECIDUOUS TREES	3" CAL - 20% OF REQ. # OF DEC. TREES - 18 TREES	3" CAL = 19 TREES PROVIDED (21% or min.req.)
EVERGREEN TREES	6' HT. (MORE THAN 1/3 OF TOTAL AMT. OF TREES) = 57 TREES	6' HT - 65 PROVIDED (35%)
EVERGREEN TREES	8' HT (MUST HAVE 20% OF REQ # OF TREES) - 10 TREES	8' HT - 10 PROVIDED (20%)
ORNAMENTAL TREES	2" CAL - NOT MORE THAN 1/3 OF TOTAL # OF TREES - 61 TREES	46 PROVIDED (30%)
SHRUBS	5 GALLON CONTAINERS	1315 PROVIDED



HKS HARRIS KOCHER SMITH
 1120 Lincoln Street, Suite 1000
 Denver, Colorado 80203
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 f. 970.367.5180
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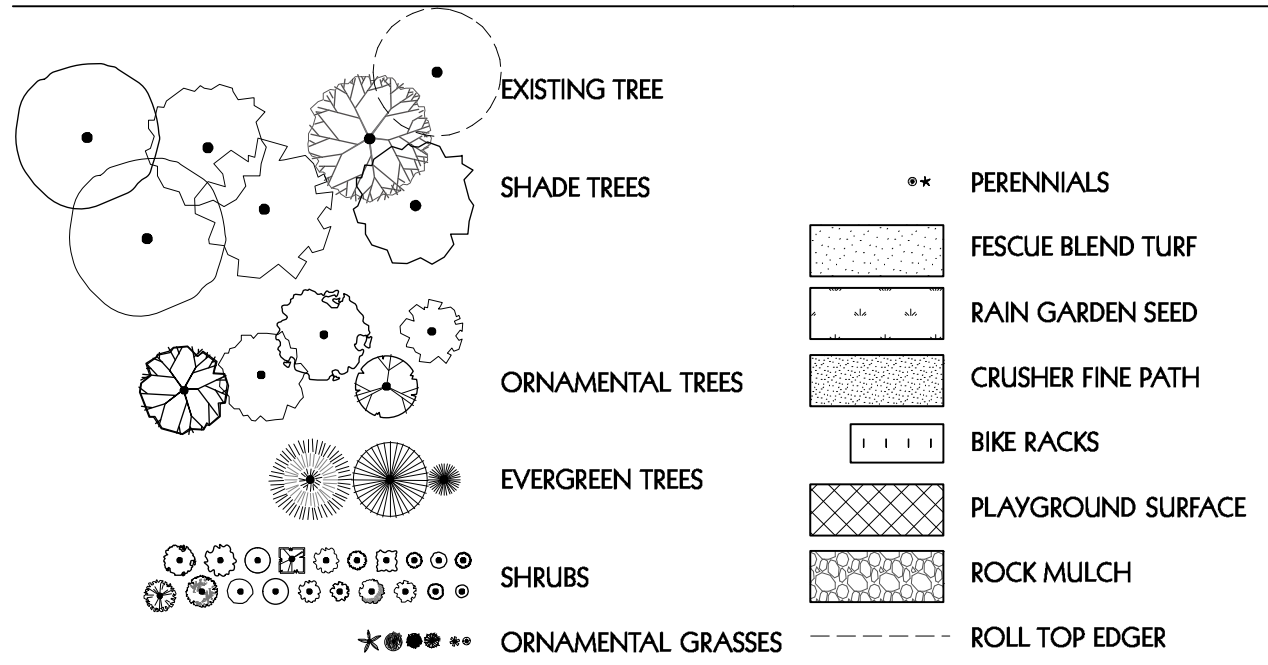
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OFFICIAL DEVELOPEMENT PLAN

03/18/2019
 05/17/2019
 07/26/2019

16 OF 37
 LANDSCAPE
 MASTER PLAN

CASE# PLN19-0039

LEGEND:



THIRD AMENDED OFFICIAL DEVELOPMENT PLAN
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HOLLYHURST SUBDIVISION
A PLANNED UNIT DEVELOPMENT IN THE
CITY OF WESTMINSTER, COUNTY OF
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SHEET 17 OF 37

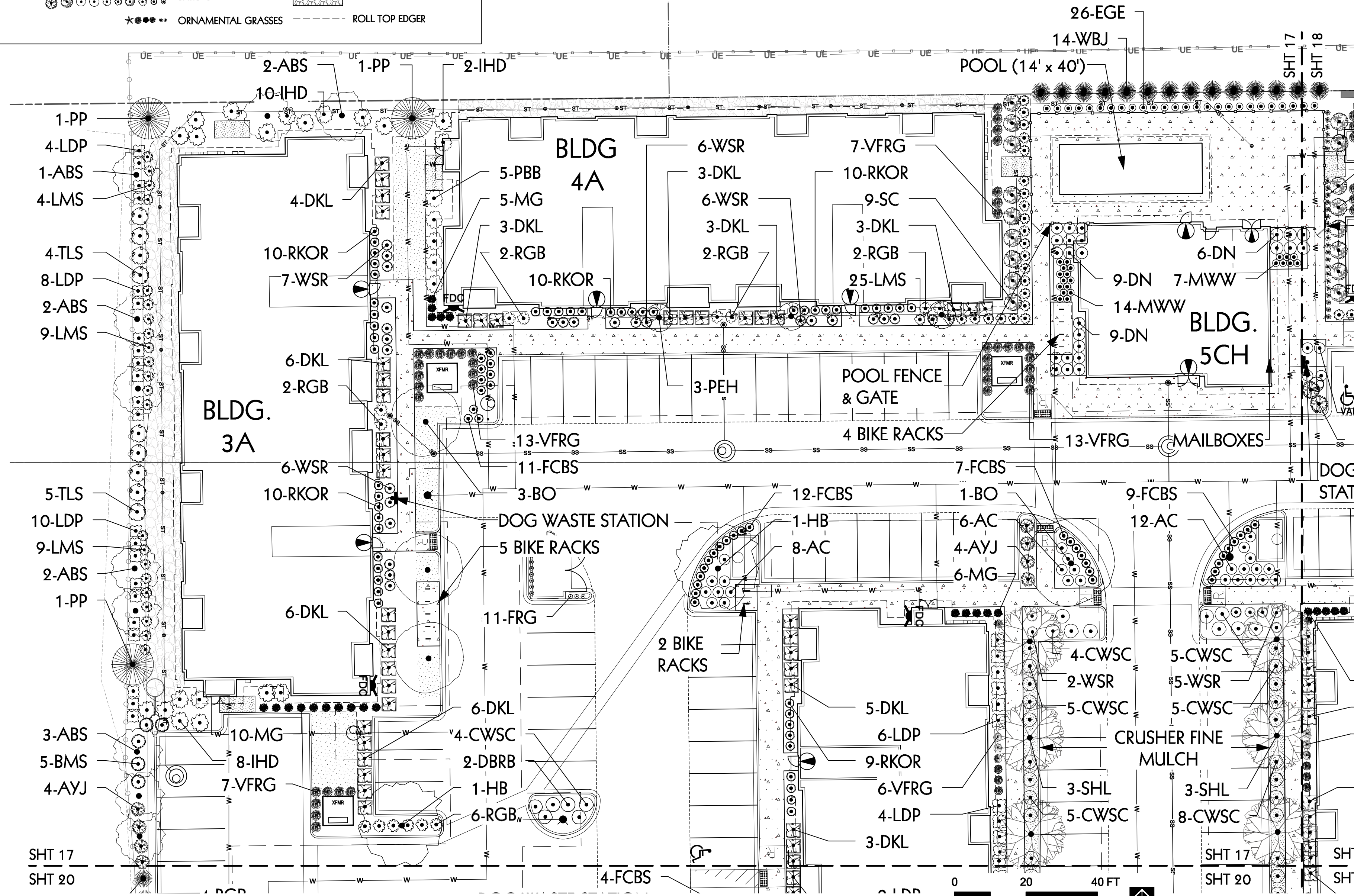
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 f. 970.367.5160
 cola@me.com

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03/18/2019
 05/17/2019
 07/26/2019

17 OF 37
 LANDSCAPE PLAN
 - NORTHWEST

CASE# PLN19-0039

LEGEND:

	EXISTING TREE		PERENNIALS
	SHADE TREES		FESCUE BLEND TURF
	ORNAMENTAL TREES		RAIN GARDEN SEED
	EVERGREEN TREES		CRUSHER FINE PATH
	SHRUBS		BIKE RACKS
	ORNAMENTAL GRASSES		PLAYGROUND SURFACE
			ROCK MULCH
			ROLL TOP EDGER

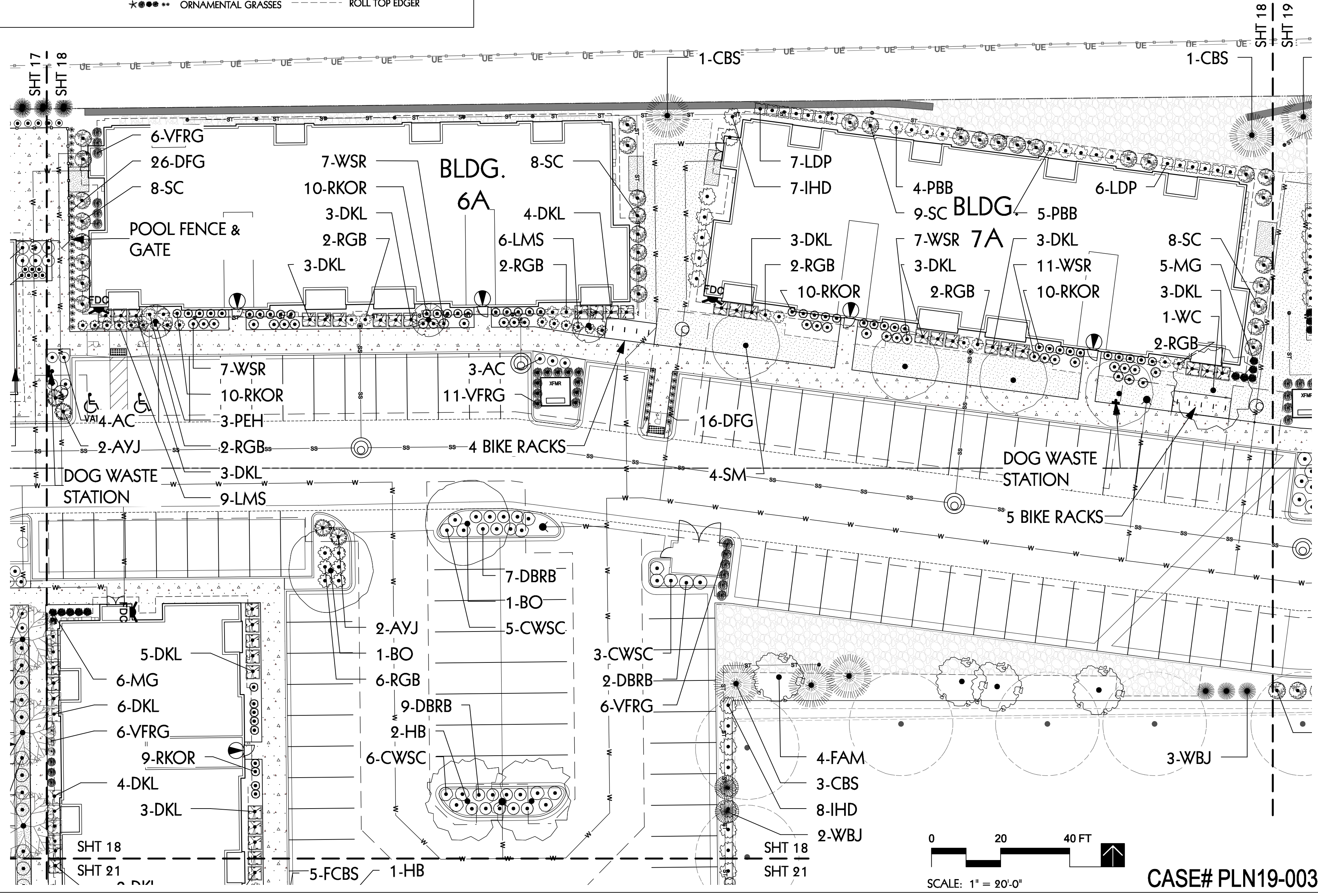
THIRD AMENDED OFFICIAL DEVELOPMENT PLAN
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 A PLANNED UNIT DEVELOPMENT IN THE
 CITY OF WESTMINSTER, COUNTY OF
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 SHEET 18 OF 37

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 SMITH
 1120 Lincoln Street, Suite 1000
 Denver, Colorado 80203
 P: 303.623.6300 F: 303.623.6311
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 f. 970.367.5180
 col@me.com

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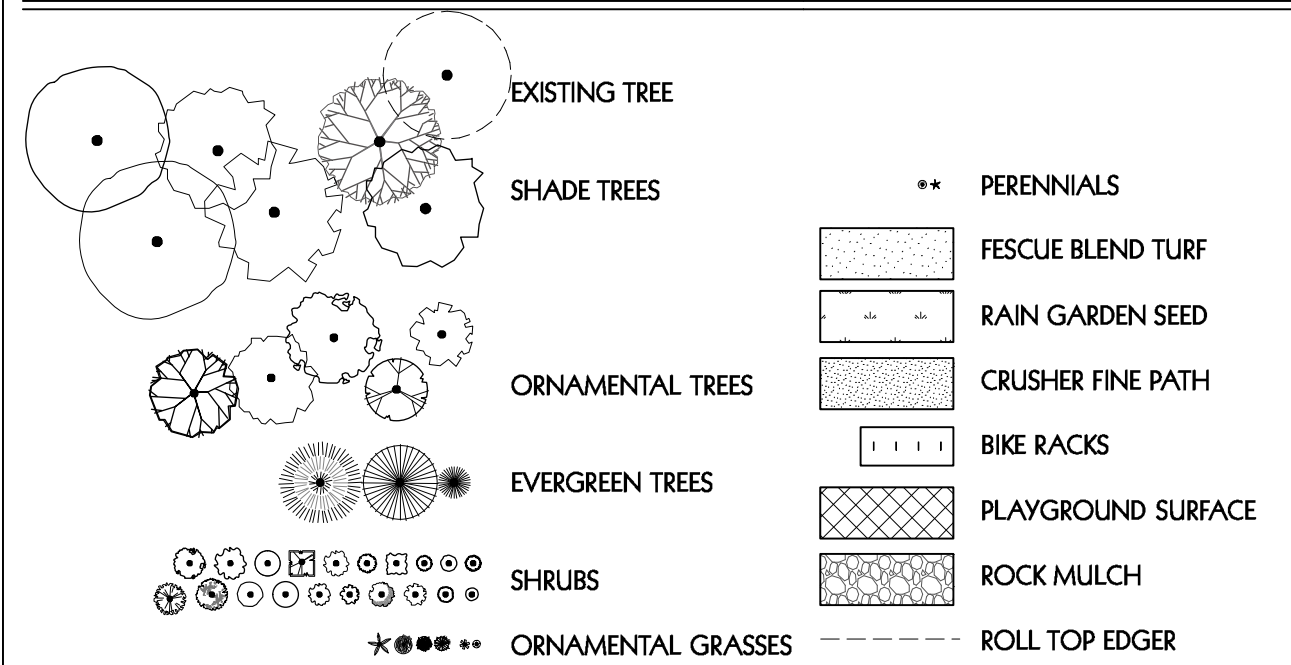


ST MARK VILLAGE
 OFFICIAL DEVELOPEMENT PLAN

03/18/2019
 05/17/2019
 07/26/2019

CASE# PLN19-0039

LEGEND:



THIRD AMENDED OFFICIAL DEVELOPMENT PLAN
LOTS 11, 12, 45, 46, 47 AND 48
HOLLYHURST SUBDIVISION
 A PLANNED UNIT DEVELOPMENT IN THE
 CITY OF WESTMINSTER, COUNTY OF
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SHEET 19 OF 37

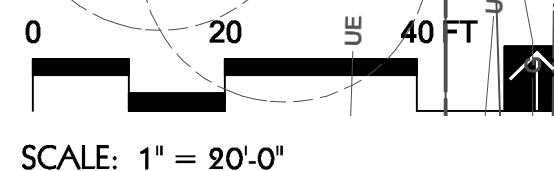
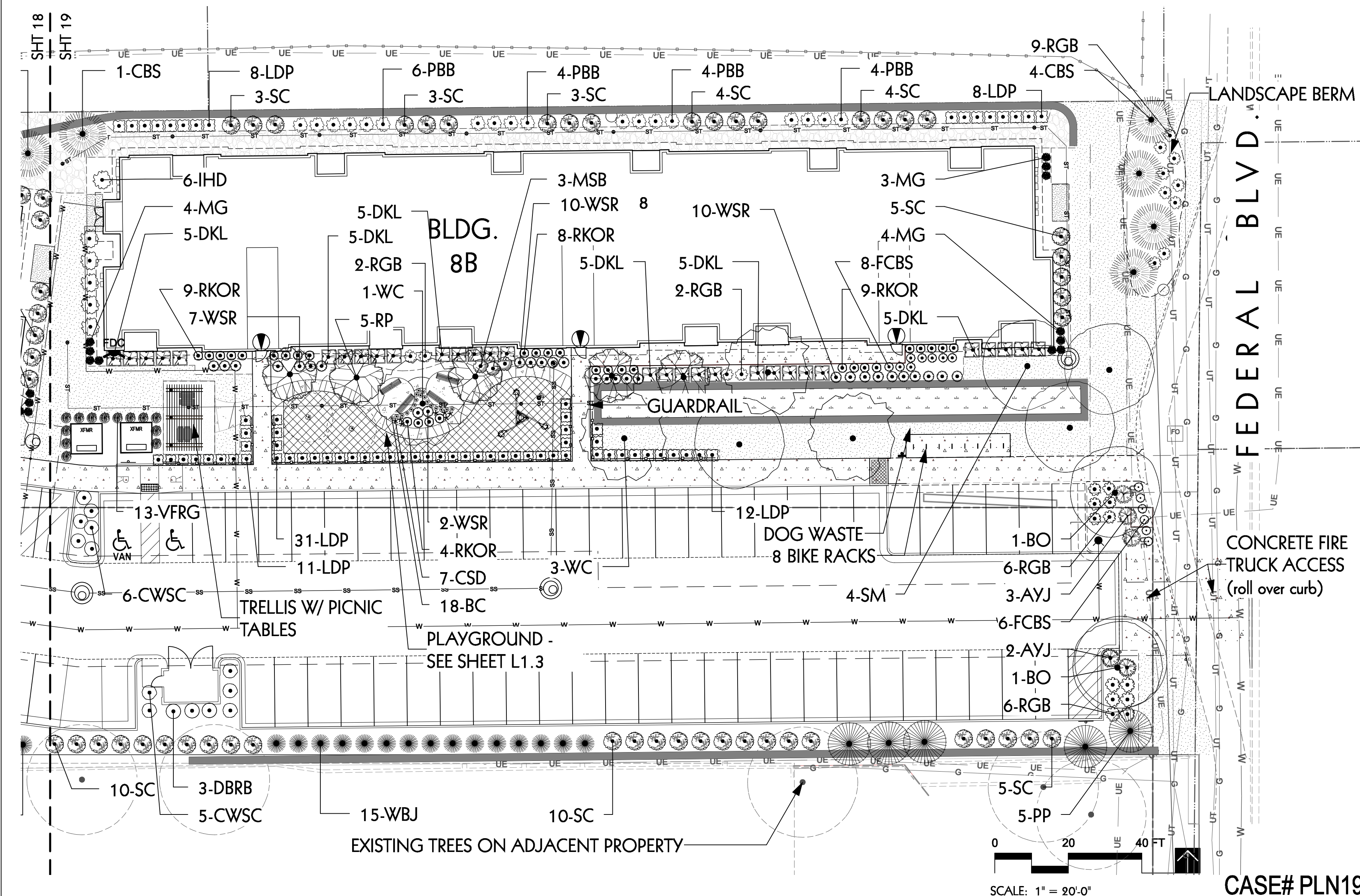
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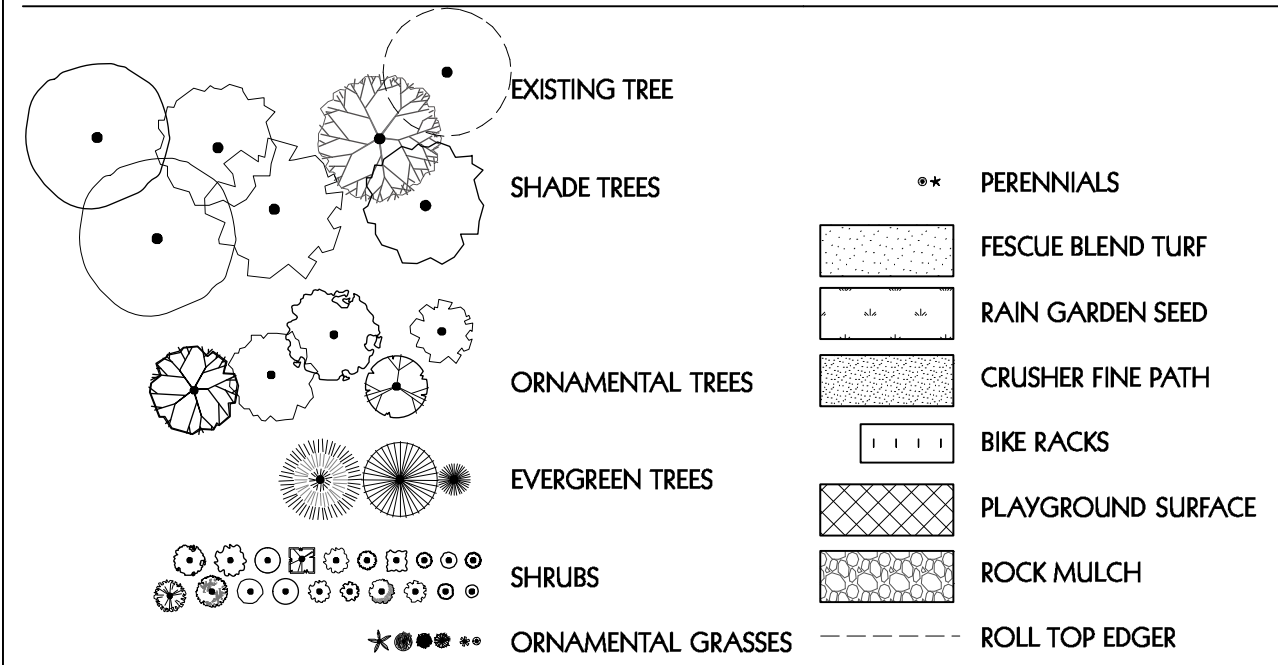
CASE# PLN19-0039

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03/18/2019
 05/17/2019
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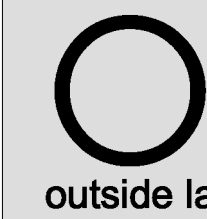
19 OF 37
 LANDSCAPE PLAN
 - NORTHEAST

LEGEND:



THIRD AMENDED OFFICIAL DEVELOPMENT PLAN
LOTS 11, 12, 45, 46, 47 AND 48
HOLLYHURST SUBDIVISION
 A PLANNED UNIT DEVELOPMENT IN THE
 CITY OF WESTMINSTER, COUNTY OF
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SHEET 20 OF 37

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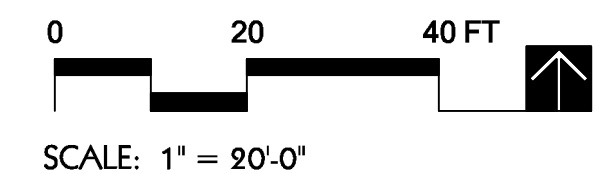
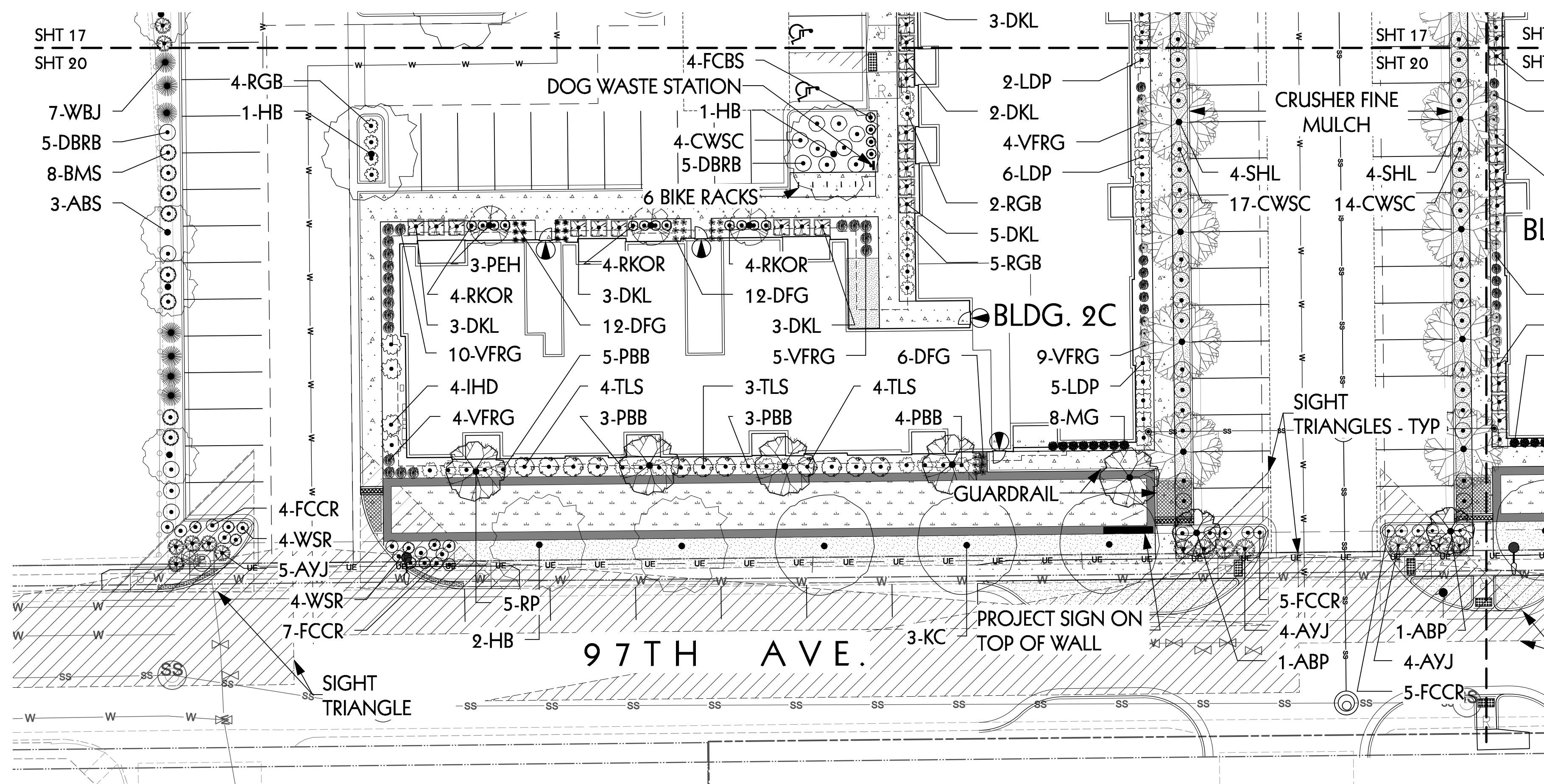


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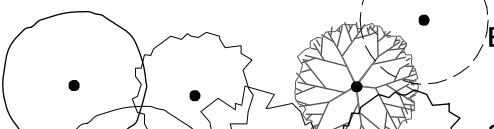





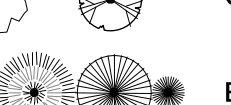


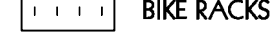






CASE# PLN19-0039

03/18/2019
 05/17/2019
 07/26/2019

20 OF 37
 LANDSCAPE PLAN
 - SOUTHWEST

LEGEND:

	EXISTING TREE		PERENNIALS
	SHADE TREES		FESCUE BLEND TURF
	ORNAMENTAL TREES		RAIN GARDEN SEED
	EVERGREEN TREES		CRUSHER FINE PATH
	SHRUBS		BIKE RACKS
	ORNAMENTAL GRASSES		PLAYGROUND SURFACE
			ROCK MULCH
			ROLL TOP EDGER

THIRD AMENDED OFFICIAL DEVELOPMENT PLAN
 LOTS 11, 12, 45, 46, 47 AND 48
 HOLLYHURST SUBDIVISION
 A PLANNED UNIT DEVELOPMENT IN THE
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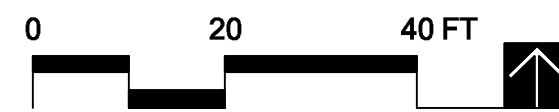
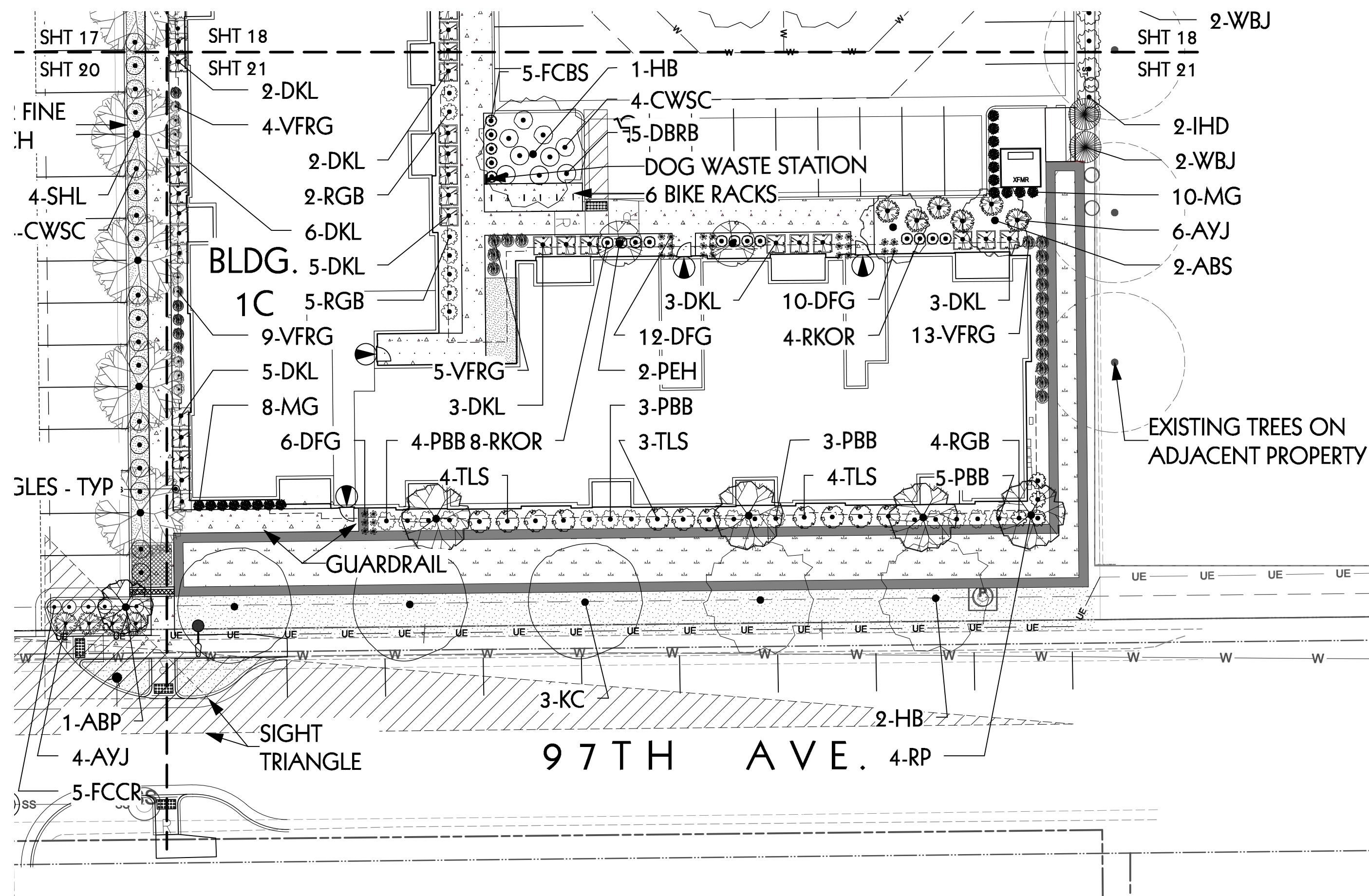
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 f. 970.367.5180
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03/18/2019
 05/17/2019
 07/26/2019

21 OF 37
 LANDSCAPE PLAN
 - SOUTHEAST



SCALE: 1" = 20'-0"

CASE# PLN19-0039

THIRD AMENDED OFFICIAL DEVELOPMENT PLAN
 LOTS 11, 12, 45, 46, 47 AND 48
 HOLLYHURST SUBDIVISION
 A PLANNED UNIT DEVELOPMENT IN THE
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 SHEET 22 OF 37

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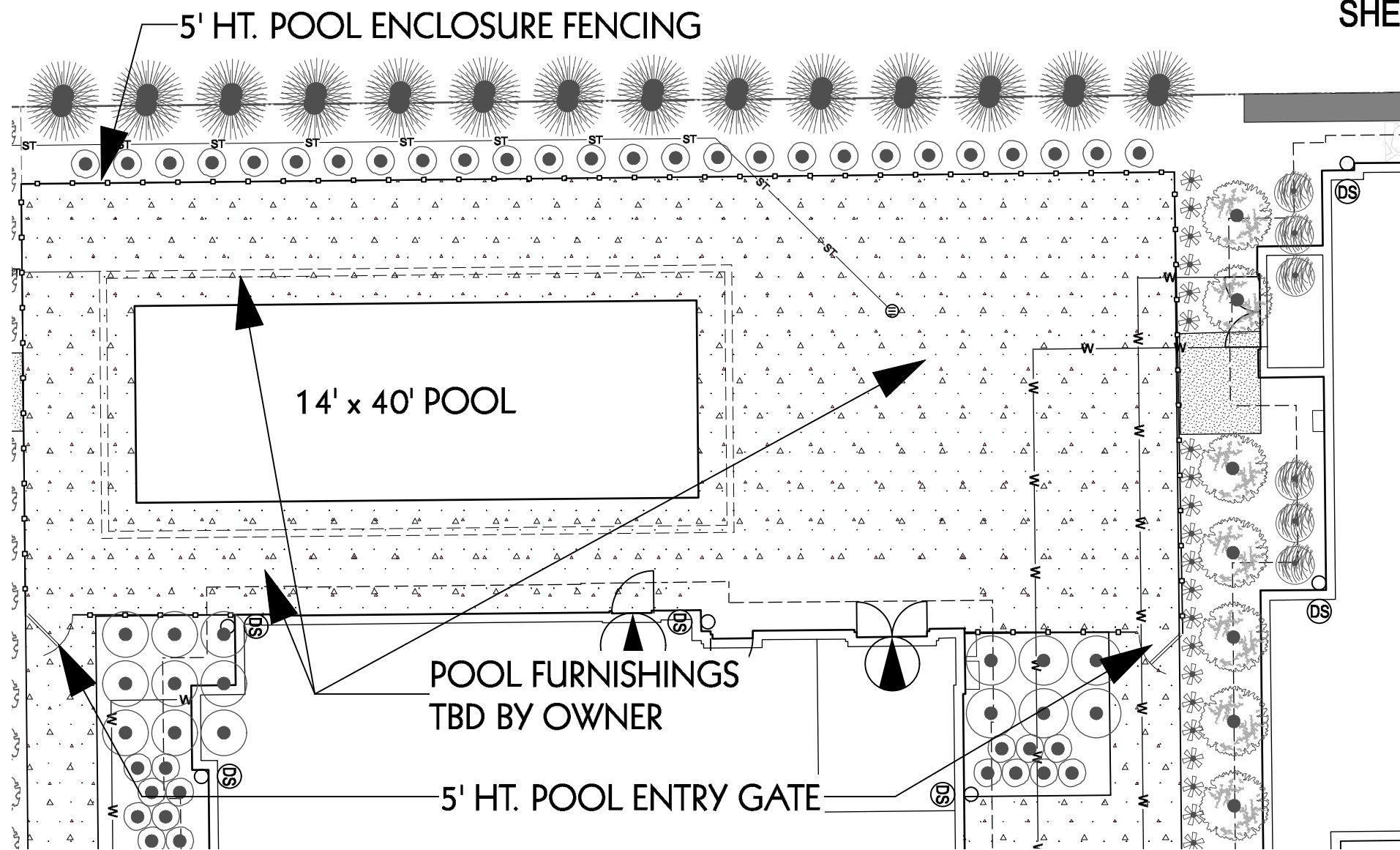
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03/18/2019
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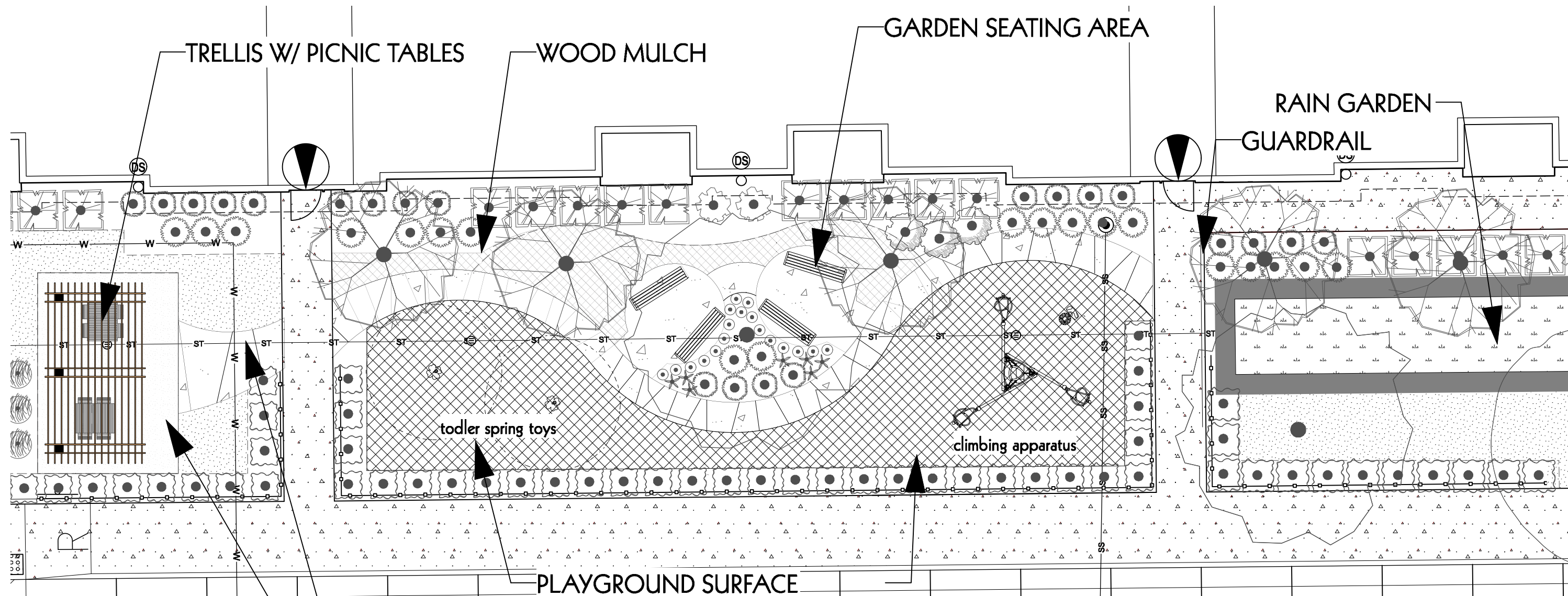
22 OF 37
 DETAILED
 LANDSCAPE PLAN



POOL PATIO AREA
 SCALE: 1"=10'-0"



PLAYGROUND EQUIPMENT - TYP.
 SCALE: NTS



PLAYGROUND AREA
 SCALE: 1"=10'-0"

CASE# PLN19-0039

PLANT LIST: 07/31/19						
SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE	HT.	WIDTH
SHADE TREES						
BO	8	Quercus macrocarpa	Burr Oak	3" CAL.	50'	40'
HB	11	Celtis occidentalis	Hackberry	3" CAL.	50'	35'
KC	6	Gymnocladus dioica	Kentucky Coffeetree	2.5" CAL.	50'	40'
SHL	14	Gleditsia triacanthos var. inermis 'Shademaster'	Shademaster Honeylocust	2.5" CAL.	40'	30'
SM	8	Acer saccharum 'Green Mountain'	Green Mountain Sugar Maple	2.5" CAL.	40'	20'
WC	5	Catalpa speciosa	Northern Catalpa	2.5" CAL.	40'	30'
TOTAL:	52					
EVERGREEN TREES						
CBS	10	Picea pungens 'Baby Blue Eyes'	Baby Blue Eyes Spruce	8' HT.	25'	10'
PP	8	Pinus edulis	Pinyon Pine	6' HT.	25'	10'
WBJ	57	Juniperus scopulorum 'Wichita Blue'	Wichita Blue Juniper	6' HT.	15'	4'
TOTAL:	75					
ORNAMENTAL TREES						
ABP	2	Pyrus calleryana 'Autumn Blaze'	Autumn Blaze Pear	2" CAL.	25'	20'
ABS	15	Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	2" CAL.	20'	15'
FAM	4	Acer ginnala 'Flame'	Flame Amur Maple	2" CAL.	15'	15'
PEH	11	Carpinus betulus 'Fastigiata'	Pyramidal European Hornbeam	2" CAL.	25'	10'
RP	14	Pyrus calleryana 'Redspire'	Redspire Pear	2" CAL.	30'	20'
TOTAL:	46					

SHRUBS						
AC	33	Ribes alpinum	Alpine Currant	5 gallon		
AYJ	36	Juniperus horizontalis 'Youngstown'	Andorra Youngstown Juniper	5 gallon		
BMS	13	Caryopteris x dandonensis 'Dark Knight'	Dark Knight Spirea	5 gallon		
CWSC	100	Prunus besseyi 'Pawnee Buttes'	Creeping Western Sand Cherry	5 gallon		
DBRB	38	Chrysothamnus nauseosus 'nauseosus'	Dwarf Blue Rabbitbrush	5 gallon		
DKL	160	Syringa meyeri 'Palibin'	Dwarf Korean Lilac	5 gallon		
DN	24	Physocarpus opulifolius 'Nanus'	Dwarf Ninebark	5 gallon		
EGE	26	Euonymus fortunei 'Emerald Gaiety'	Emerald Gaiety Wintercreeper	5 gallon		
FCBS	62	Caryopteris x dandonensis 'First Choice'	First Choice Blue Spirea	5 gallon		
FCCR	21	Rosa Flower Carpet Coral	Flower Carpet Coral Rose	5 gallon		
IHD	47	Cornus alba 'Bailhala'	Ivory Halo Dogwood	5 gallon		
LDP	128	Ligustrum vulgare 'Lodense'	Lodense Privet	5 gallon		
LMS	62	Spiraea x bumalda 'Monhub'	Limemound [®] Spirea	5 gallon		
MSB	3	Symphoricarpos x doorenbosii 'Marlene'	Marlene Snowberry	5 gallon		
MW/W	21	Weigela florida 'Elvera'	Midnight Wine Weigela	5 gallon		
PBB	62	Buddleja davidii 'nanhoensis' 'Petite Plum'	Compact Purple Butterfly Bush	5 gallon		
RGB	79	Berberis thunbergii 'Rose Glow'	Rose Glow Japanese Barberry	5 gallon		
RKOR	152	Rosa x 'Radcor'	Rainbow Knock Out Rose	5 gallon		
SC	89	Cotoneaster divaricatus	Spreading Cotoneaster	5 gallon		
TLS	31	Rhus trilobata	Three-Leaf Sumac	5 gallon		
WSR	101	Rosa Meidiland White	White Meidiland Landscape Rose	5 gallon		
TOTAL:	1315					

ORNAMENTAL GRASSES						
DFG	100	Pennisetum alopecuroides 'Hameln'	Dwarf Fountain Grass	1 gallon		
FRG	11	Calamagrostis x acutiflora 'Karl Foerster'	Foerster Feather Reed Grass	1 gallon		
MG	69	Miscanthus sinensis 'Morning Light'	Morning Light Maiden Grass	1 gallon		
VFRG	151	Calamagrostis x acutiflora 'Overdam'	Overdam Feather Reed Grass	1 gallon		
TOTAL:	328					

PERENNIALS						
BC	18	Geranium x cantabrigiense 'Blokovo'	Blokovo Cranesbill	1 gallon		
CSD	7	Leucanthemum x superbum 'Silver Princess'	Compact Shasta Daisy	1 gallon		
TOTAL:	25					

SOIL AMENDMENT REQUIREMENTS: 07/31/19				
AREA:	QUANTITY (SF)	5 CY/ 1000 SF	1 CY/ 1000 SF	TOTAL CY
FESCUE BLEND SOD	12,024	1,202 x 5		60.1
RAIN GARDEN SEED	6,711		671 x 1	6.7
LOW SHRUB BEDS	31,594		3,159 x 1	31.6
TOTAL AMOUNT:	50,329.00			98.4

NOTE: APPLY BIOSOL MIX 7-2-3 OR APPROVED EQUAL AT THE RATE OF 25 LBS./1000 SF MIXED WITH MENEFFEE GRANULAR HUMATE OR APPROVED EQUAL AT THE RATE OF 5 LBS./1000 A.F. TO SEED MIX AREAS.

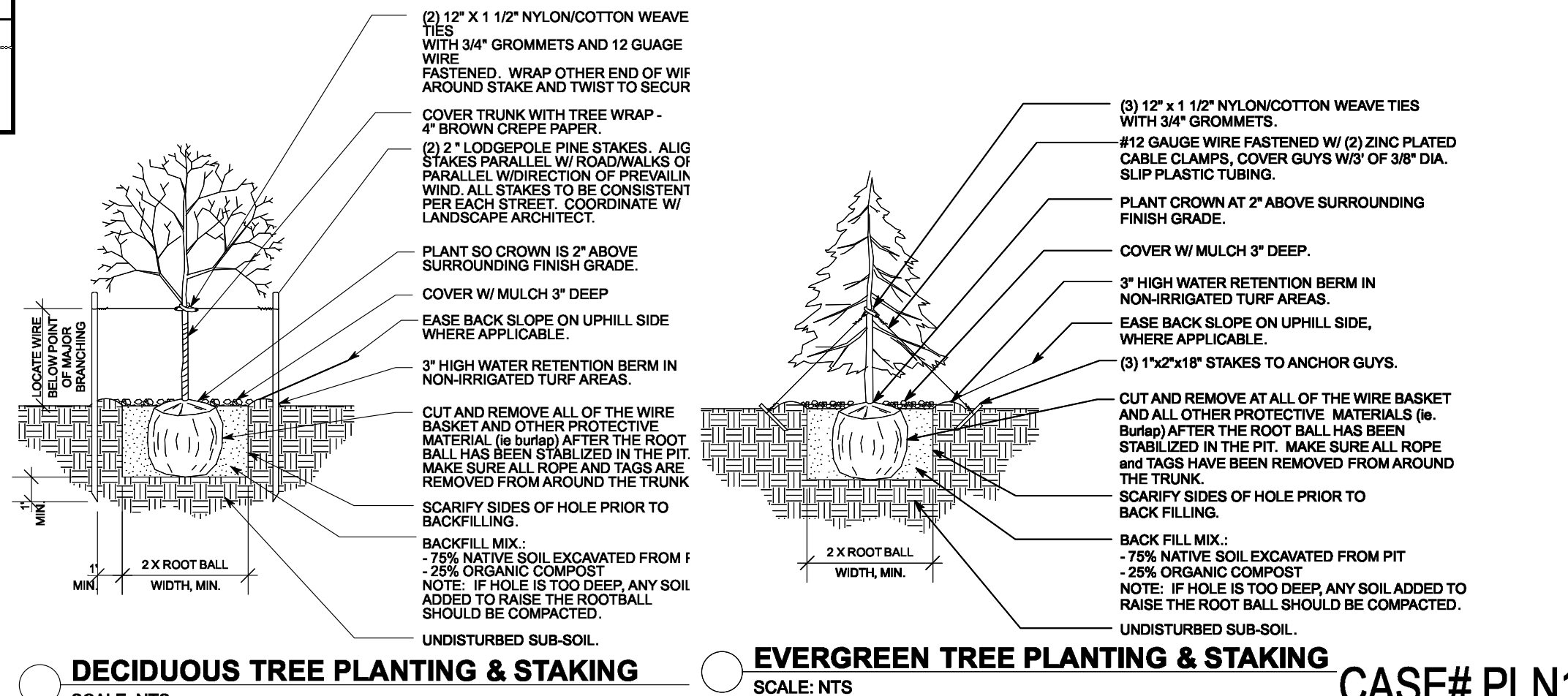
URBAN DRAINAGE NATIVE SEED MIX FOR RAIN GARDENS					
COMMON NAME	SCIENTIFIC NAME	VARIETY	PLS lbs per Acre	Ounced per Acre	Percent of Mix
Sand bluestem	Andropogon hallii	Garden	3.0		6
Sideoats grama	Bouteloua curtipendula	Butte	3.0		6
Prairie sandreed	Calamovilfa longifolia	Goshen	3.0		6
Indian ricegrass	Oryzopsis hymenoides	Paloma	3.0		6
Switchgrass	Panicum virgatum	Blackwell	4.0		8
Western wheatgrass	Pascopyrum smithii	Ariba	3.0		6
Little bluestem	Schizachyrium scoparium	Patura	3.0		6
Alkali sacaton	Sporobolus airoides		3.0		6
Sand dropseed	Sporobolus cryptandrus		3.0		6
Pasture sage	Artemisia frigida			2	4
Blue aster	Aster laevis			4	8
Blanket flower	Gaillardia aristata			6	12
Prairie coneflower	Ratibida columnifera			7	14
Purple prairieclover (opt)	Dalea (Petalostemon) purpurea			3	6
Sub-Totals:			27.0	22	100
Total lbs per acre:				28.9	

* PLS = Pure Live Seed

THIRD AMENDED OFFICIAL DEVELOPMENT PLAN LOTS 11, 12, 45, 46, 47 AND 48 HOLLYHURST SUBDIVISION A PLANNED UNIT DEVELOPMENT IN THE CITY OF WESTMINSTER, COUNTY OF ADAMS, STATE OF COLORADO SHEET 23 OF 37

GENERAL NOTES:

- ALL LANDSCAPING SHALL BE IN CONFORMANCE WITH LANDSCAPE REGULATIONS, 2004 EDITION AND ORDINANCE NO. 3133, SERIES OF 2004.
- THE TOTAL WATER BUDGET SHALL NOT EXCEED 15 GALLONS/SQUARE FEET/IRRIGATION SEASON (YEAR), UNLESS APPROVED OTHERWISE BY THE CITY.
- LANDSCAPING SHALL BE PLANTED AND MAINTAINED IN A LIVING CONDITION BY THE OWNER. ALL LANDSCAPE IMPROVEMENTS/MATERIALS MUST HAVE A 100% ONGOING SURVIVAL RATE. ANY DEAD OR DAMAGED PLANT MATERIALS, (AS DETERMINED BY THE CITY), SHALL BE REPLACED WITHIN 6 MONTHS OF NOTIFICATION BY THE CITY. ALL LANDSCAPE IMPROVEMENTS/MATERIAL MUST BE MAINTAINED AS REQUIRED BY THE LANDSCAPE REGULATIONS AND THIS OFFICIAL DEVELOPMENT PLAN.
- SOIL PREPARATION FOR ALL NON-HARDSCAPE AREAS SHALL INCLUDE TOPSOIL AND/OR ORGANIC MATTER (COMPOST OR AGED GROUND MANURE) AND SHALL BE ADDED AT A RATE OF FIVE CUBIC YARDS PER ONE THOUSAND SQUARE FEET AND TILLED 8" DEPTH INTO THE SOIL. AN INSPECTION AND AFFIDAVIT REGARDING SOIL PREPARATION WILL BE REQUIRED.
- ALL SINGLE FAMILY LOTS ARE REQUIRED TO HAVE SOIL AMENDMENT INSTALLED BY THE DEVELOPER IN ALL YARD AREAS NOT COVERED BY HARDSCAPE.
- AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM IS REQUIRED FOR ALL LANDSCAPE AREAS. AN IRRIGATION AUDIT WILL BE REQUIRED FOR ALL IRRIGATION SYSTEMS, EXCEPTING THOSE INSTALLED BY THE SINGLE FAMILY DETACHED HOMEOWNER.
- IRRIGATION SYSTEMS SHALL BE MAINTAINED AND PERIODICALLY ADJUSTED TO ASSURE WATERING EFFICIENCY AND CONSERVATION METHODS. IRRIGATION SHOULD NOT OCCUR BETWEEN THE HOURS OF 10 AM AND 6 PM IN ORDER TO REDUCE EVAPORATION. EXCESSIVE WATER RUN OFF, AS DETERMINED BY THE CITY, IS NOT PERMITTED.
- NO TREE WILL BE PLANTED WITHIN 5' OF A FIRE HYDRANT.
- ALL SHRUB BED AREAS SHALL BE SEPARATED FROM SOD AREAS BY ROLL TOP EDGING MATERIAL. MULCH SHALL BE PLACED OVER A SUITABLE WEED BARRIER FABRIC.
- FINAL LANDSCAPING AND IRRIGATION DRAWINGS AND PRIVATE IMPROVEMENTS AGREEMENT SHALL BE SUBMITTED TO THE CITY OF WESTMINSTER FOR REVIEW AND APPROVAL PRIOR TO APPROVAL OF FINAL PLAT.
- DEVELOPER SHALL ENSURE THAT THE LANDSCAPE PLAN IS COORDINATED WITH THE PLANS PREPARED BY OTHER CONSULTANTS SO THE PROPOSED GRADING, STORM DRAINAGE, OR OTHER CONSTRUCTION DOES NOT CONFLICT WITH NOR PRECLUDE INSTALLATION AND MAINTENANCE OF LANDSCAPE ELEMENTS AS DESIGNATED ON THIS PLAN.
- LANDSCAPE AND OTHER FEATURES INSTALLED WITHIN PUBLIC ROW SHALL BE IN COMPLIANCE WITH THE ADOPTED CITY DESIGN. AN ENCROACHMENT PERMIT MAY BE REQUIRED.
- THE OWNER/DEVELOPER, THEIR SUCCESSORS AND ASSIGNS, AGREE TO PERFORM THE FOLLOWING CONDITIONS.
 - THE OWNER/DEVELOPER IS RESPONSIBLE FOR DESIGNING, BUILDING, OPERATING AND MAINTAINING THE RECLAIMED FACILITIES AT THE SITE IN COMPLIANCE WITH THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT'S RECLAIMED WATER CONTROL REGULATION NO. 84, THE CITY OF WESTMINSTER'S CITY CODE SECTION 8 CHAPTER 12 RECLAIMED/NON-POTABLE WATER REGULATIONS, AND THE CITY OF WESTMINSTER'S RECLAIMED WATER DESIGN SPECIFICATIONS.
 - THE OWNER/DEVELOPER MUST SUBMIT TWO SIGNED COPIES OF THE "RECLAIMED WATER USERS AGREEMENT" AND THE "USER PLAN TO COMPLY" TO THE CITY OF WESTMINSTER. CITY STAFF WILL REVIEW THE "USERS PLAN TO COMPLY" AND SUBMIT IT TO THE COLORADO DEPARTMENT OF HEALTH AND ENVIRONMENT FOR APPROVAL. ONCE THE PLAN IS APPROVED A "NOTICE OF AUTHORIZATION FOR THE USE OF RECLAIMED WATER" WILL BE ISSUED BY COLORADO DEPARTMENT OF HEALTH AND ENVIRONMENT. THE "NOTICE OF AUTHORIZATION" AND RECLAIMED WATER USERS AGREEMENT MUST BE RECEIVED BY THE CITY PRIOR TO CONNECTING TO RECLAIMED WATER SYSTEM.
 - APPROVED SIGNS SHALL BE POSTED ON THE SITE TO NOTIFY THE PUBLIC THAT RECLAIMED WATER WILL BE USED FOR IRRIGATION AND IS NOT SAFE TO DRINK. APPROVED SIGNS ARE AVAILABLE THROUGH THE DEPARTMENT OF PUBLIC WORKS AND UTILITIES.
 - ALL PIPING INCLUDING PRIVATE IRRIGATION SYSTEM PIPING SHALL BE PURPLE (PANTONE PURPLE 522C) TO DIFFERENTIATE RECLAIMED WATER PIPING FROM POTABLE WATER OR OTHER PIPING SYSTEMS. ALL IRRIGATION BOXES AND COVERS, CONTROL VALVES, SPRINKLER HEADS AND OTHER APPURTENANCES ASSOCIATED WITH THE RECLAIMED WATER SYSTEM SHALL BE PURPLE AND LABELED "RECLAIMED" OR "NON-POTABLE" WATER. RECLAIMED METERS SHALL BE PURPLE, HAVE PURPLE REGISTERS AND BE STAMPED "RECLAIM" ON THE MAIN CASE.
 - RECLAIMED WATER HAS A HIGHER LEVEL OF DISSOLVED SOLIDS THAN POTABLE WATER. PLANTS TOLERANT OF HIGH SALINITY SHOULD BE SELECTED FOR USE IN AREAS IRRIGATED WITH, OR THAT MAY POTENTIALLY BE SUPPLIED WITH RECLAIMED WATER. IF PLANT MATERIALS WITH LOWER TOLERANCE ARE USED, THE DEVELOPER SHALL TAKE THOSE STEPS NECESSARY TO PREVENT SALT BUILD-UP IN THE SOIL SURROUND THESE PLANTS. PLANTING LOCATION FOR SALT SENSITIVE SPECIES SHOULD HAVE GOOD DRAINAGE AND SOIL PERCOLATION.



HKS HARRIS KOCHER SMITH
1120 Lincoln Street, Suite 1000
Denver, Colorado 80203
P: 303.623.6300 F: 303.623.6311
HarrisKocherSmith.com

outside la
landscape architecture +
urban design +
planning
boulder / steamboat springs, co
p. 303.517.9258
f. 970.367.5180
ola@me.com

DATE: 03/15/2019

ST MARK VILLAGE OFFICIAL DEVELOPEMENT PLAN

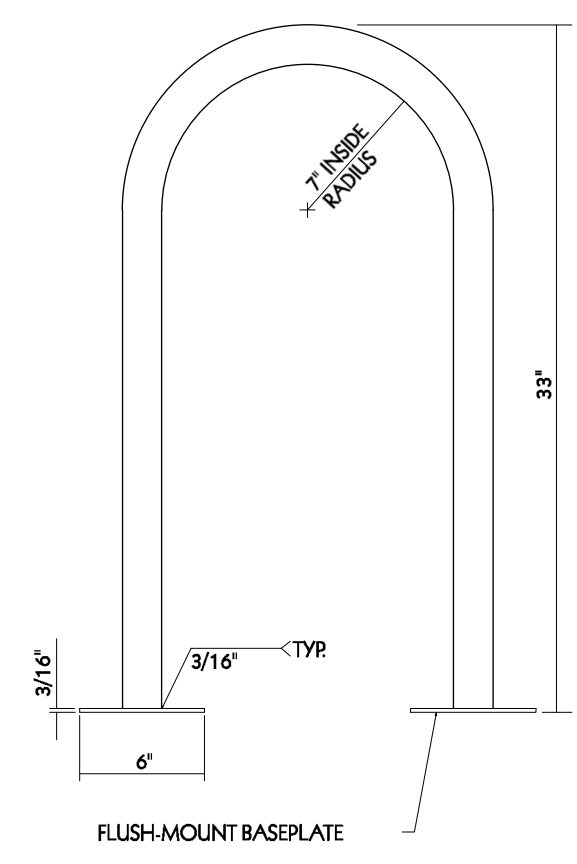
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05/17/2019
07/26/2019

THIRD AMENDED OFFICIAL DEVELOPMENT PLAN
 LOTS 11, 12, 45, 46, 47 AND 48
 HOLLYHURST SUBDIVISION
 A PLANNED UNIT DEVELOPMENT IN THE
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 ADAMS, STATE OF COLORADO
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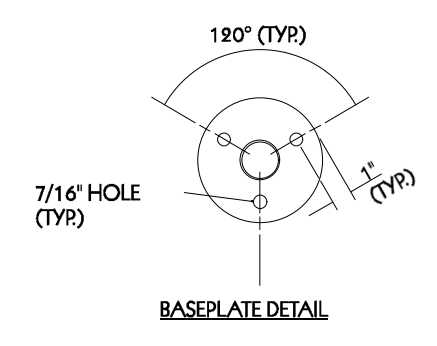


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 boulder / steamboat springs, co
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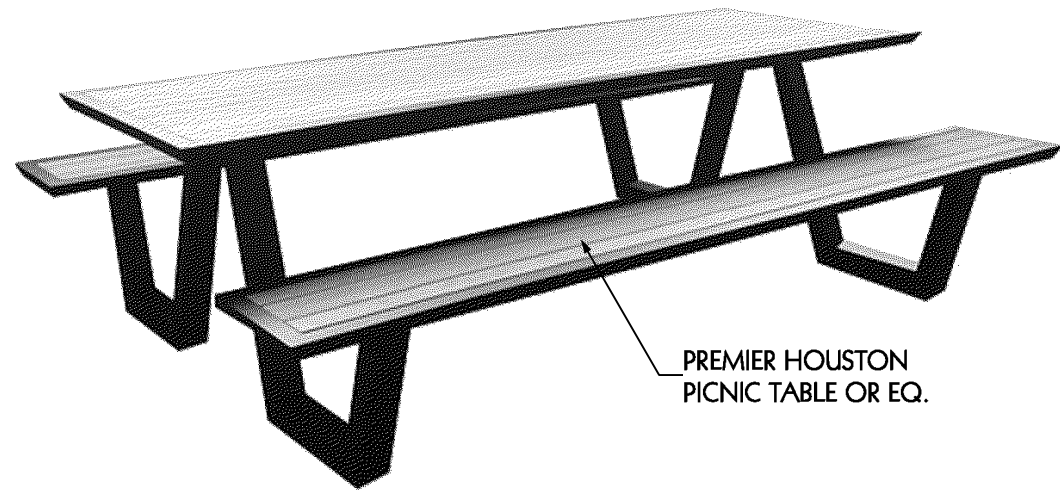
DATE: 03/15/2019



- NOTES:
 DIMENSIONS:
 1. HEIGHT-33" FROM THE GROUND
 2. CONTINUOUS BEND INSIDE RADIUS=7"
 MATERIALS AND CONSTRUCTION:
 1. MINIMUM OR 1 1/4" SCHEDULE 40 STEEL PIPE (1 5/8" OUTSIDE DIAMETER)
 2. MAXIMUM 1 1/8" SCHEDULE 40 STEEL PIPE (2" OUTSIDE DIAMETER)
 3. SOLID ONE-PIECE CONSTRUCTION, CONTINUOUS BEND, LEGS 14"-18" APART
 4. GALVANIZED WITH BLACK POWDER COAT FINISH
 5. FLUSH MOUNTED WITH WELDED BASE PLATES (6" DIAMETER, 3/16" THICK BASE PLATE). HIDDEN OR VANDAL-RESISTANT FASTENERS (SCREWS OR EXPANSION BOLTS)



INVERTED-U BIKE RACKS
 SCALE: NTS



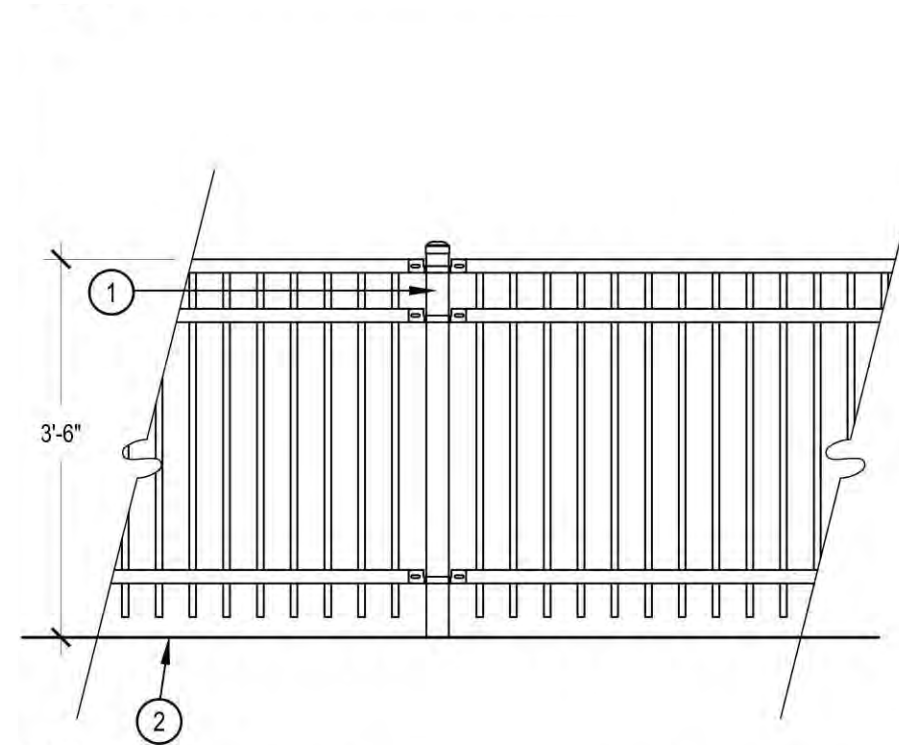
PICNIC TABLE - TYP.
 SCALE: NTS



BENCH - TYP.
 SCALE: NTS



PET WASTE STATIONS

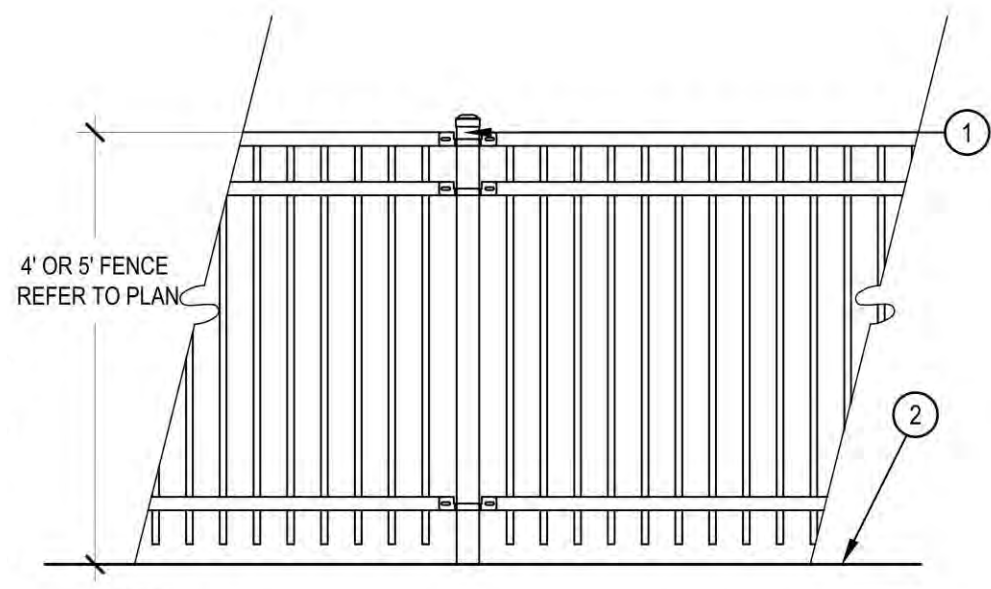


NOTE:
 DETAIL TO BE USED ON TOP OF RETAINING WALLS OVER 30" IN HEIGHT WHERE PEDESTRIAN ACCESS IS WITHIN 3'.

ORNAMENTAL FENCING / GUARDRAIL @ RAINGARDENS
 SCALE: NTS

- 1 FENCE POST - SET IN CONCRETE FOOTER, REFER TO FENCE SPECIFICATIONS FOR FOOTER INFORMATION
 2 TOP OF STRUCTURE

- NOTES:
 1. THIS DETAIL IS PROVIDED TO CONVEY FINISH AND RELATIVE DIMENSIONS ONLY. REFER TO ENGINEERS PLANS FOR MOUNTING DETAILS AND STRUCTURAL ELEMENTS ASSOCIATED WITH THE RAILING.
 2. ALL PENETRATIONS INTO THE SLAB MUST BE COORDINATED WITH THE ENGINEER AND ARCHITECT AND MUST BE PROPERLY SEALED.
 3. ALL WATERPROOFING PENETRATIONS TO BE DETAILED BY OTHER
 4. CONTRACTOR TO SUPPLY SHOP DRAWINGS AND VERIFY ALL MEASUREMENTS PRIOR TO FABRICATION.
 5. FENCE SHALL BE BY AMERISTAR FENCE OR APPROVED EQUAL, CONTACT: AARON COPE 918-879-5884
 acope@ameristarfence.com www.ameristarfence.com
 6. FENCE STYLE FOR POOL ENCLOSURE SHALL BE: MONTAGE PLUS (POOL, PET, PLAY FENCING) MAGESTIC - 3 RAIL, NO FLUSH BOTTOM
 7. FENCE STYLE FOR ALL OTHER LOCATIONS SHALL BE: MONTAGE PLUS (STANDARD 4" PICKET SPACING) MAGESTIC - 3 RAIL, NO FLUSH BOTTOM
 8. COLOR: BLACK



NOTE:
 FENCE IS TO BE 5' IN HEIGHT IN AREAS AROUND POOL DECK.

ORNAMENTAL FENCING @ POOL
 SCALE: NTS

- 1 FENCE POST - SET IN CONCRETE FOOTER, REFER TO FENCE SPECIFICATIONS FOR FOOTER INFORMATION
 2 FINISH GRADE

- NOTES:
 1. FENCE SHALL BE BY AMERISTAR FENCE OR APPROVED EQUAL, CONTACT: AMERISTAR FENCE 918-879-5884
 www.ameristarfence.com
 2. FENCE STYLE SHALL BE: MONTAGE PLUS (STANDARD 4" PICKET SPACING) MAGESTIC - 3 RAIL, NO FLUSH BOTTOM
 4. COLOR: BLACK

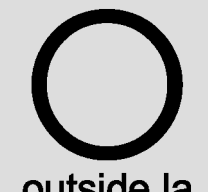
ST MARK VILLAGE
 OFFICIAL DEVELOPEMENT PLAN

03/18/2019
 05/17/2019
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 DETAILS

THIRD AMENDED OFFICIAL DEVELOPMENT PLAN
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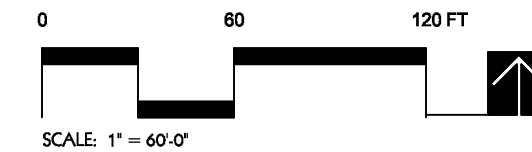
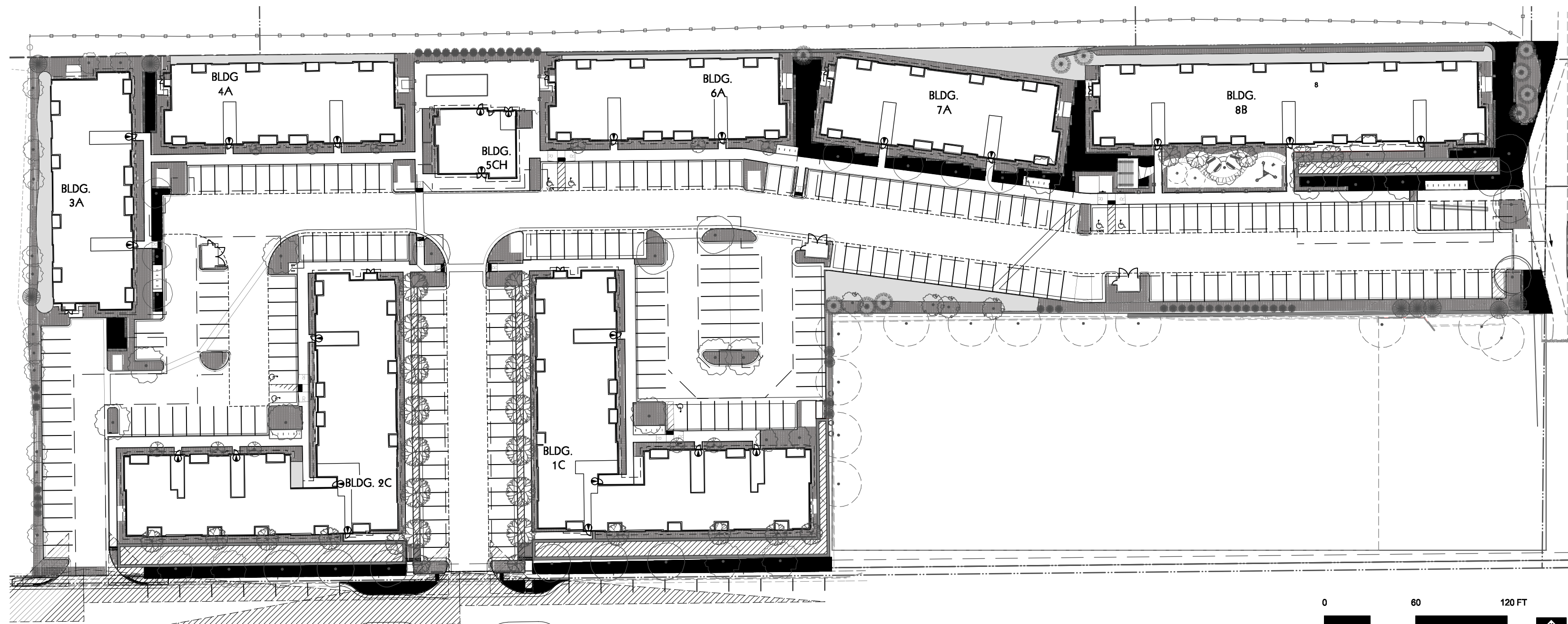
HKS HARRIS
 KOCHER
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 1120 Lincoln Street, Suite 1000
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HYDROZONE LEGEND: 07/30/19			
HYDROZONE AREA:	QUANTITY (SF)	TOTAL SF	GALLON/SF/YEAR
HIGH WATER AREAS @ 18 GAL/SF		12,024	216,432
TURF	12,024		
LOW WATER AREAS @ 3 GAL/SF		38,305	114,915
RAIN GARDEN SEED	6,711		
LOW SHRUB BEDS	31,594		
TOTAL USAGE:		50,329	331,347
AVERAGE WATER USE/SF/YEAR OF PERMANENT IRRIGATION AREA			6.6
NO WATER ZONES (rock mulch)			

ST MARK VILLAGE
 OFFICIAL DEVELOPEMENT PLAN

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 A PLANNED UNIT DEVELOPMENT IN THE
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KTGY - ARCHITECTURE + PLANNING
 820 16TH STREET, SUITE 500
 DENVER, CO, 80202
 (303) 825-6400
 CONTACT: Project Manager
 ktgy@ktgy.com

DATE: 03/18/2019

ELEVATION LEGEND

- STONE - COLOR 1
- FIBER CEMENT PANEL - COLOR 1
- BOARD AND BATTEN - COLOR 1
- LAP SIDING - COLOR 1
- ASPHALT ROOF TILES

ELEVATION NOTES

1. ALL CONDENSERS WILL BE ROOF MOUNTED, AS ALLOWED BY CODE, AND WILL BE SCREENED FROM VIEW.

KEYNOTES - SDP

- 1 STONE - COLOR 1
- 2 FIBER CEMENT PANELING - COLOR 1
- 3 FIBER CEMENT LAP SIDING (VARIED EXPOSURE) -COLOR 1
- 4 BOARD AND BATTEN - PAINT COLOR 2
- 5 ASPHALT ROOF SHINGLES
- 6 FIBER CEMENT BOARD FASCIA, EAVES, PARAPET
- 7 METAL HANDRAIL
- 8 VINYL WINDOW
- 9 BUILDING ENTRY
- 10 WATER ENTRY/BOOSTER PUMP CLOSET
- 11 EXTERIOR WALL MOUNT LIGHT SCONCE
- 12 STOREFRONT
- 14 DOWNSPOUT
- 15 PAINTED WOOD BRACKETS
- 16 MAILBOXES
- 17 GAS METER, PAINT TO MATCH ADJACENT ELEVATION
- 18 ELECTRIC METERS, PAINT TO MATCH ADJACENT ELEVATION
- 19 CAST STONE - MATCH STONE COLOR
- 20 OPAQUE METAL GATE, PAINT TO MATCH RAILINGS
- 21 METAL GATE
- 22 WALL MOUNT LOW VOLT CABINETS, PAINT TO MATCH ADJACENT ELEVATION

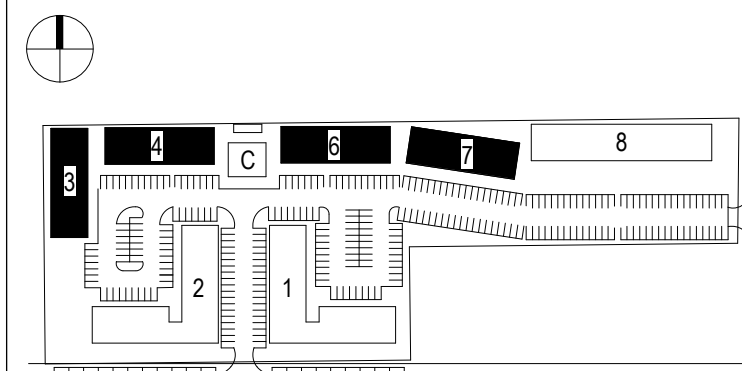


BLDG 3 NORTH ELEVATION & BLDGS 4, 6, 7 EAST ELEVATION

SCALE:
1/16" = 1'-0"

2

SITE KEY PLAN



BLDG 3 WEST ELEVATION & BLDGS 4, 6, 7 NORTH ELEVATION

SCALE:
1/16" = 1'-0"

1

ST MARK VILLAGE
 OFFICIAL DEVELOPEMENT PLAN

03/18/2019
 05/20/2019
 07/26/2019

CASE # PLN19-0039

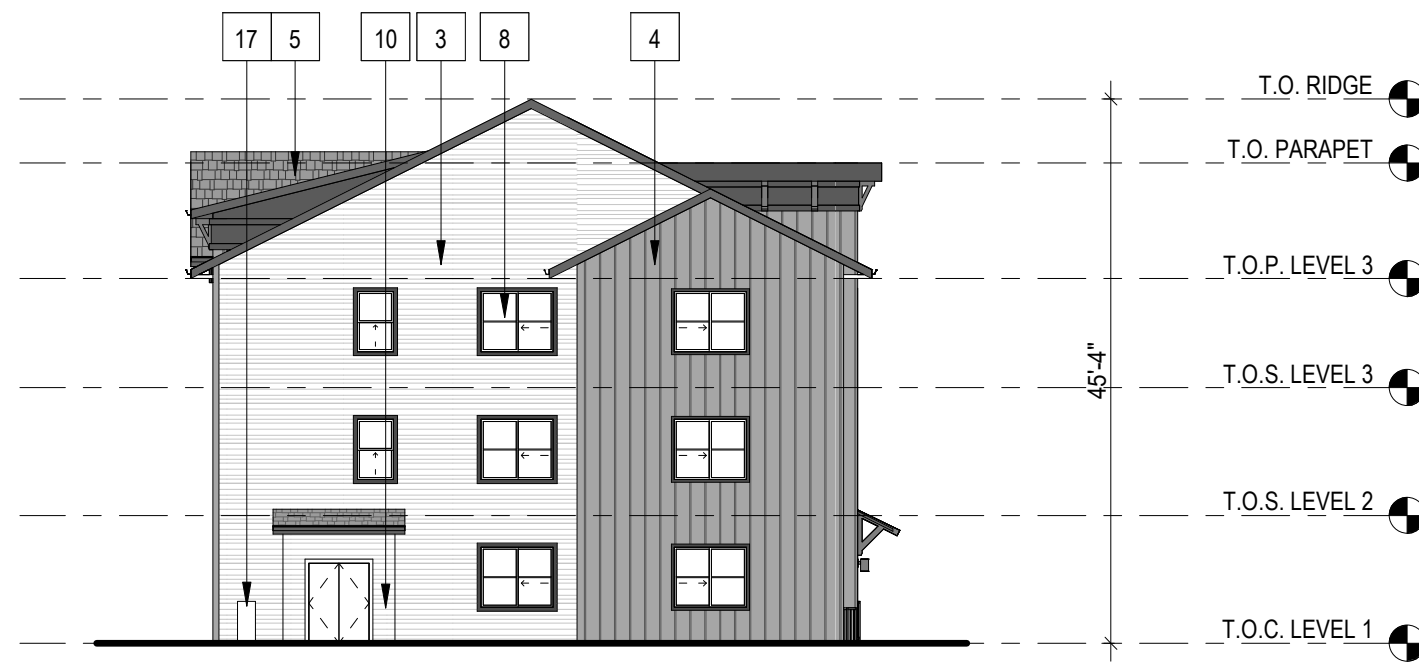
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 BUILDING A -
 ELEVATIONS

THIRD AMENDED OFFICIAL DEVELOPMENT PLAN
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 A PLANNED UNIT DEVELOPMENT IN THE
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 820 16TH STREET, SUITE 500
 DENVER, CO. 80202
 (303) 825-6400
 CONTACT: Project Manager
 ktgy@ktgy.com

DATE: 03/18/2019



BLDG 3 SOUTH ELEVATION & BLDGS 4, 6, 7
 WEST ELEVATION

SCALE:
 1/16" = 1'-0"

2

ELEVATION LEGEND

- STONE - COLOR 1
- FIBER CEMENT PANEL - COLOR 1
- BOARD AND BATTEN - COLOR 1
- LAP SIDING - COLOR 1
- ASPHALT ROOF TILES

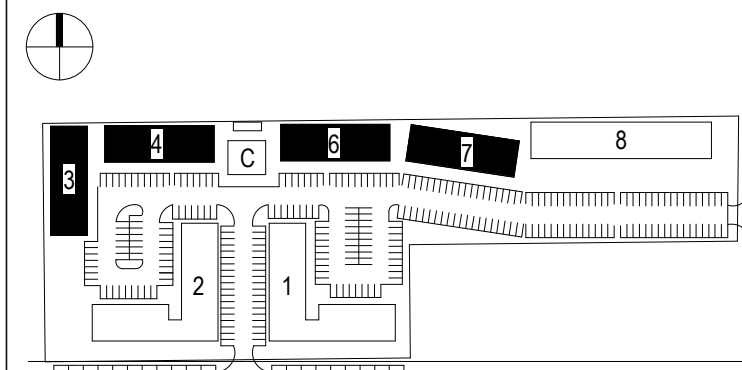
ELEVATION NOTES

1. ALL CONDENSERS WILL BE ROOF MOUNTED, AS ALLOWED BY CODE, AND WILL BE SCREENED FROM VIEW.

KEYNOTES - SDP

- 1 STONE - COLOR 1
- 2 FIBER CEMENT PANELING - COLOR 1
- 3 FIBER CEMENT LAP SIDING (VARIED EXPOSURE) -COLOR 1
- 4 BOARD AND BATTEN - PAINT COLOR 2
- 5 ASPHALT ROOF SHINGLES
- 6 FIBER CEMENT BOARD FASCIA, EAVES, PARAPET
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- 8 VINYL WINDOW
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- 15 PAINTED WOOD BRACKETS
- 16 MAILBOXES
- 17 GAS METER, PAINT TO MATCH ADJACENT ELEVATION
- 18 ELECTRIC METERS, PAINT TO MATCH ADJACENT ELEVATION
- 19 CAST STONE - MATCH STONE COLOR
- 20 OPAQUE METAL GATE, PAINT TO MATCH RAILINGS
- 21 METAL GATE
- 22 WALL MOUNT LOW VOLT CABINETS, PAINT TO MATCH ADJACENT ELEVATION

SITE KEY PLAN



BLDG 3 EAST ELEVATION & BLDGS 4, 6, 7
 SOUTH ELEVATION

SCALE:
 1/16" = 1'-0"

1

ST MARK VILLAGE
 OFFICIAL DEVELOPEMENT PLAN

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 07/26/2019

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27 OF 37
 BUILDING A -
 ELEVATIONS

THIRD AMENDED OFFICIAL DEVELOPMENT PLAN
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 HOLLYHURST SUBDIVISION
 A PLANNED UNIT DEVELOPMENT IN THE
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KTGY - ARCHITECTURE + PLANNING
 820 16TH STREET, SUITE 500
 DENVER, CO. 80202
 (303) 825-6400
 CONTACT: Project Manager
 ktgy@ktgy.com

DATE: 03/18/2019

ELEVATION LEGEND

- STONE - COLOR 1
- FIBER CEMENT PANEL - COLOR 1
- BOARD AND BATTEN - COLOR 1
- LAP SIDING - COLOR 1
- ASPHALT ROOF TILES

ELEVATION NOTES

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KEYNOTES - SDP

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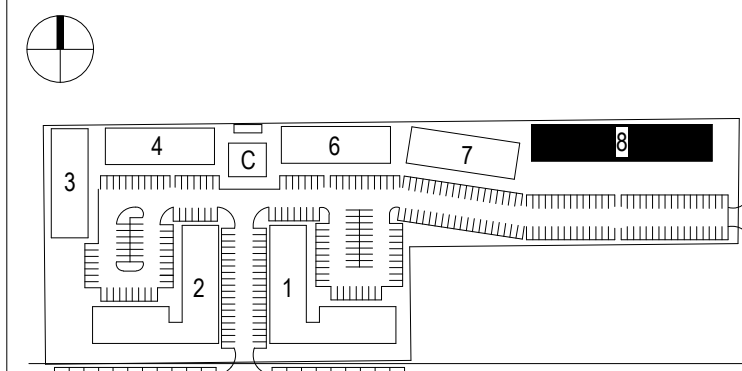


BLDG 8 SOUTH ELEVATION 2

SCALE:
1/16" = 1'-0"

2

SITE KEY PLAN



BLDG 8 SOUTH ELEVATION 1

SCALE:
1/16" = 1'-0"

1

ST MARK VILLAGE
 OFFICIAL DEVELOPEMENT PLAN

03/18/2019
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 BUILDING B -
 ELEVATIONS

THIRD AMENDED OFFICIAL DEVELOPMENT PLAN
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 A PLANNED UNIT DEVELOPMENT IN THE
 CITY OF WESTMINSTER, COUNTY OF
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BLDG 8 WEST ELEVATION

SCALE:
1/16" = 1'-0"

2




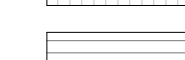
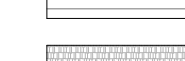


BLDG 8 EAST ELEVATION

SCALE:
1/16" = 1'-0"

1

ELEVATION LEGEND

-  STONE - COLOR 1
-  FIBER CEMENT PANEL - COLOR 1
-  BOARD AND BATTEN - COLOR 1
-  LAP SIDING - COLOR 1
-  ASPHALT ROOF TILES

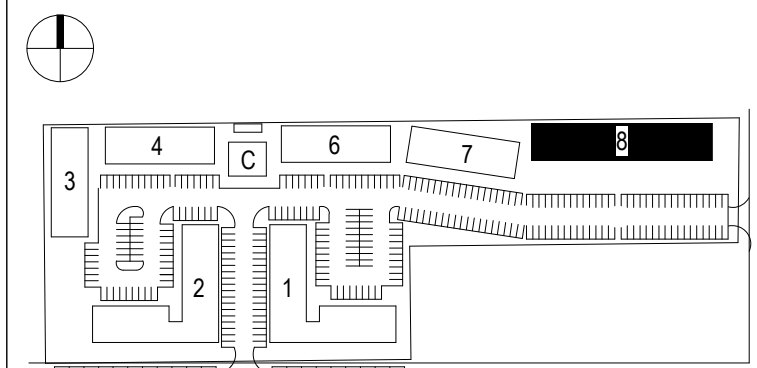
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KEYNOTES - SDP

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SITE KEY PLAN



CASE # PLN19-0039



KTGY - ARCHITECTURE + PLANNING
 820 16TH STREET, SUITE 500
 DENVER, CO, 80202
 (303) 825-6400
 CONTACT: Project Manager
 ktgy@ktgy.com

DATE: 03/18/2019

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 OFFICIAL DEVELOPEMENT PLAN

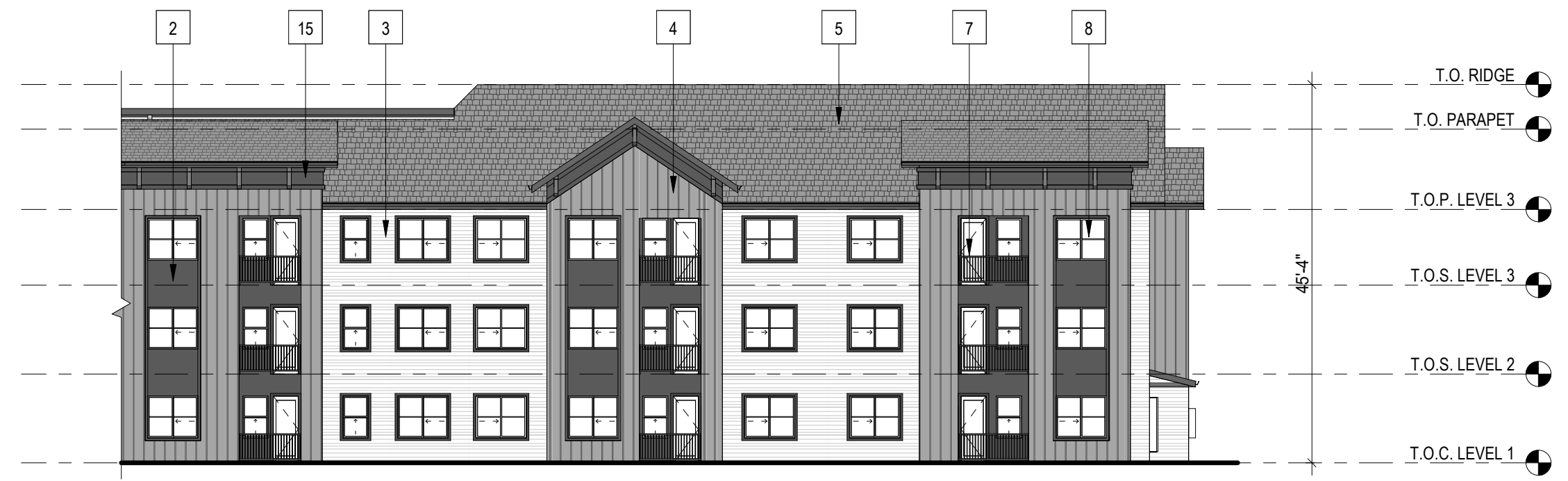
03/18/2019
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 BUILDING B -
 ELEVATIONS

THIRD AMENDED OFFICIAL DEVELOPMENT PLAN
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 CITY OF WESTMINSTER, COUNTY OF
 ADAMS, STATE OF COLORADO
 SHEET 30 OF 37



BLDG 8 NORTH ELEVATION 2
 SCALE: 1/16" = 1'-0"
 2



BLDG 8 NORTH ELEVATION 1
 SCALE: 1/16" = 1'-0"
 1

ELEVATION LEGEND

- STONE - COLOR 1
- FIBER CEMENT PANEL - COLOR 1
- BOARD AND BATTEN - COLOR 1
- LAP SIDING - COLOR 1
- ASPHALT ROOF TILES

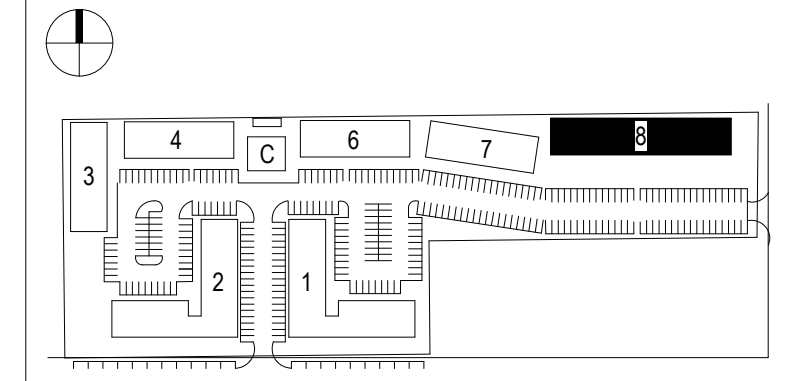
ELEVATION NOTES

1. ALL CONDENSERS WILL BE ROOF MOUNTED, AS ALLOWED BY CODE, AND WILL BE SCREENED FROM VIEW.

KEYNOTES - SDP

- 1 STONE - COLOR 1
- 2 FIBER CEMENT PANELING - COLOR 1
- 3 FIBER CEMENT LAP SIDING (VARIED EXPOSURE) -COLOR 1
- 4 BOARD AND BATTEN - PAINT COLOR 2
- 5 ASPHALT ROOF SHINGLES
- 6 FIBER CEMENT BOARD FASCIA, EAVES, PARAPET
- 7 METAL HANDRAIL
- 8 VINYL WINDOW
- 9 BUILDING ENTRY
- 10 WATER ENTRY/BOOSTER PUMP CLOSET
- 11 EXTERIOR WALL MOUNT LIGHT SCNCE
- 12 STOREFRONT
- 14 DOWNSPOUT
- 15 PAINTED WOOD BRACKETS
- 16 MAILBOXES
- 17 GAS METER, PAINT TO MATCH ADJACENT ELEVATION
- 18 ELECTRIC METERS, PAINT TO MATCH ADJACENT ELEVATION
- 19 CAST STONE - MATCH STONE COLOR
- 20 OPAQUE METAL GATE, PAINT TO MATCH RAILINGS
- 21 METAL GATE
- 22 WALL MOUNT LOW VOLT CABINETS, PAINT TO MATCH ADJACENT ELEVATION

SITE KEY PLAN



CASE # PLN19-0039



KTGY - ARCHITECTURE + PLANNING
 820 16TH STREET, SUITE 500
 DENVER, CO, 80202
 (303) 825-6400
 CONTACT: Project Manager
 ktgy@ktgy.com

DATE: 03/18/2019

ST MARK VILLAGE
 OFFICIAL DEVELOPEMENT PLAN

03/18/2019
 05/20/2019
 07/26/2019

30 OF 37
 BUILDING B -
 ELEVATIONS

THIRD AMENDED OFFICIAL DEVELOPMENT PLAN
 LOTS 11, 12, 45, 46, 47 AND 48
 HOLLYHURST SUBDIVISION
 A PLANNED UNIT DEVELOPMENT IN THE
 CITY OF WESTMINSTER, COUNTY OF
 ADAMS, STATE OF COLORADO
 SHEET 31 OF 37



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DATE: 03/18/2019



ELEVATION LEGEND

- STONE - COLOR 1
- FIBER CEMENT PANEL - COLOR 1
- BOARD AND BATTEN - COLOR 1
- LAP SIDING - COLOR 1
- ASPHALT ROOF TILES

ELEVATION NOTES

1. ALL CONDENSERS WILL BE ROOF MOUNTED, AS ALLOWED BY CODE, AND WILL BE SCREENED FROM VIEW.

KEYNOTES - SDP

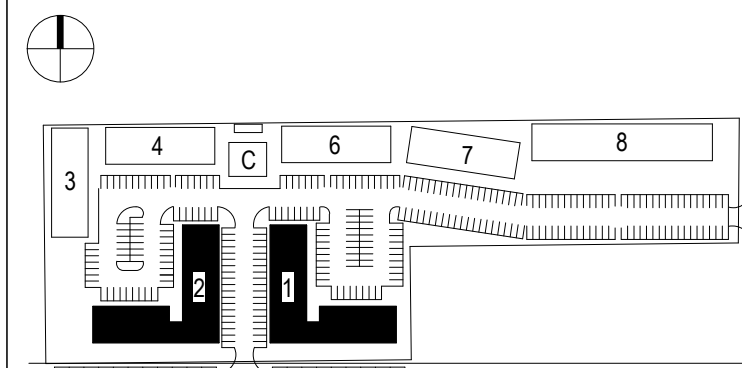
- 1 STONE - COLOR 1
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BLDGS 1, 2 SOUTH ELEVATION 2

SCALE:
1/16" = 1'-0"

2

SITE KEY PLAN



BLDGS 1, 2 SOUTH ELEVATION 1

SCALE:
1/16" = 1'-0"

1

ST MARK VILLAGE
 OFFICIAL DEVELOPEMENT PLAN

03/18/2019
 05/20/2019
 07/26/2019

CASE # PLN19-0039

31 OF 37
 BUILDING C -
 ELEVATIONS

THIRD AMENDED OFFICIAL DEVELOPMENT PLAN
 LOTS 11, 12, 45, 46, 47 AND 48
 HOLLYHURST SUBDIVISION
 A PLANNED UNIT DEVELOPMENT IN THE
 CITY OF WESTMINSTER, COUNTY OF
 ADAMS, STATE OF COLORADO
 SHEET 32 OF 37



BLDG 1 WEST ELEVATION 2 & BLDG 2 EAST
 ELEVATION 2

SCALE:
 1/16" = 1'-0"

2



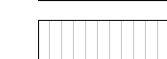
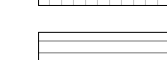
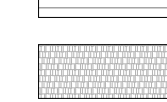


BLDG 1 WEST ELEVATION 1 & BLDG 2 EAST
 ELEVATION 1

SCALE:
 1/16" = 1'-0"

1

ELEVATION LEGEND

-  STONE - COLOR 1
-  FIBER CEMENT PANEL - COLOR 1
-  BOARD AND BATTEN - COLOR 1
-  LAP SIDING - COLOR 1
-  ASPHALT ROOF TILES

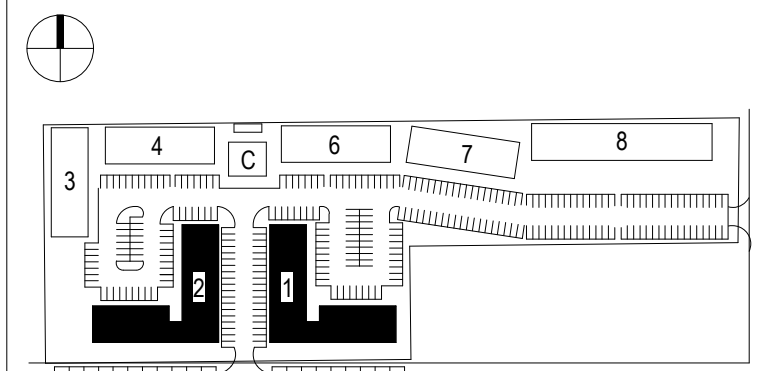
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SITE KEY PLAN



CASE # PLN19-0039



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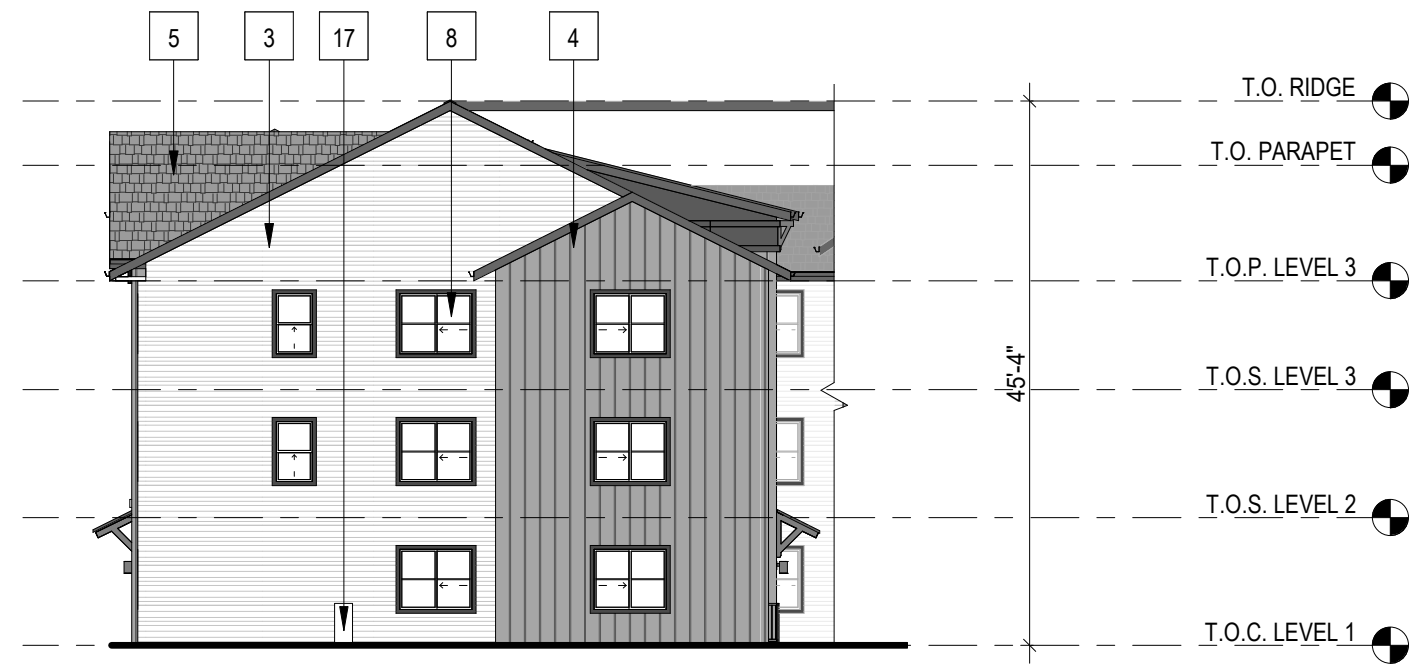
DATE: 03/18/2019

ST MARK VILLAGE
 OFFICIAL DEVELOPEMENT PLAN

03/18/2019
 05/20/2019
 07/26/2019

32 OF 37
 BUILDING C -
 ELEVATIONS

THIRD AMENDED OFFICIAL DEVELOPMENT PLAN
 LOTS 11, 12, 45, 46, 47 AND 48
 HOLLYHURST SUBDIVISION
 A PLANNED UNIT DEVELOPMENT IN THE
 CITY OF WESTMINSTER, COUNTY OF
 ADAMS, STATE OF COLORADO
 SHEET 33 OF 37

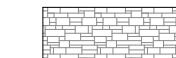

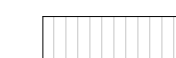
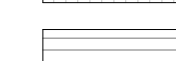



BLDGS 1, 2 NORTH ELEVATION 2

SCALE:
1/16" = 1'-0"

2

ELEVATION LEGEND

-  STONE - COLOR 1
-  FIBER CEMENT PANEL - COLOR 1
-  BOARD AND BATTEN - COLOR 1
-  LAP SIDING - COLOR 1
-  ASPHALT ROOF TILES

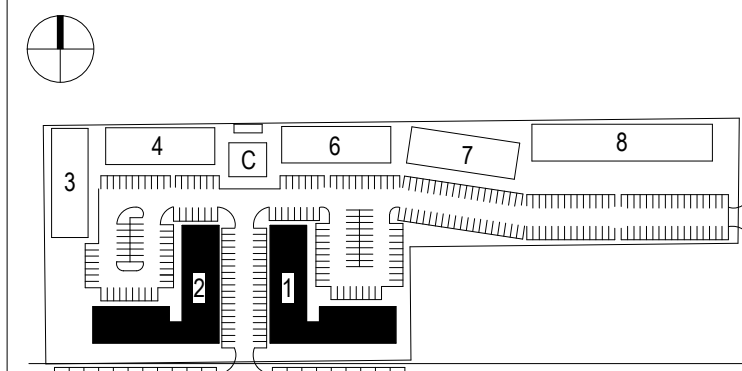
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SITE KEY PLAN



BLDGS 1, 2 NORTH ELEVATION 1

SCALE:
1/16" = 1'-0"

1



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DATE: 03/18/2019

ST MARK VILLAGE
 OFFICIAL DEVELOPEMENT PLAN

03/18/2019
 05/20/2019
 07/26/2019

CASE # PLN19-0039

33 OF 37
 BUILDING C -
 ELEVATIONS

THIRD AMENDED OFFICIAL DEVELOPMENT PLAN
 LOTS 11, 12, 45, 46, 47 AND 48
 HOLLYHURST SUBDIVISION
 A PLANNED UNIT DEVELOPMENT IN THE
 CITY OF WESTMINSTER, COUNTY OF
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 SHEET 34 OF 37



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 DENVER, CO. 80202
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ELEVATION LEGEND

- STONE - COLOR 1
- FIBER CEMENT PANEL - COLOR 1
- BOARD AND BATTEN - COLOR 1
- LAP SIDING - COLOR 1
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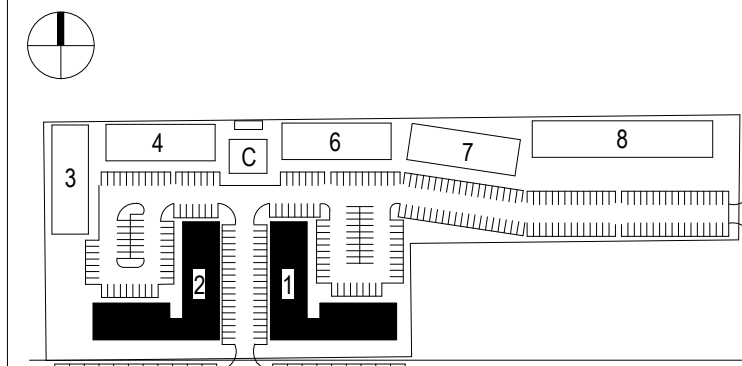


BLDG 1 EAST ELEVATION 2 & BLDG 2 WEST ELEVATION 2

SCALE:
1/16" = 1'-0"

2

SITE KEY PLAN



BLDG 1 EAST ELEVATION 1 & BLDG 2 WEST ELEVATION 1

SCALE:
1/16" = 1'-0"

1

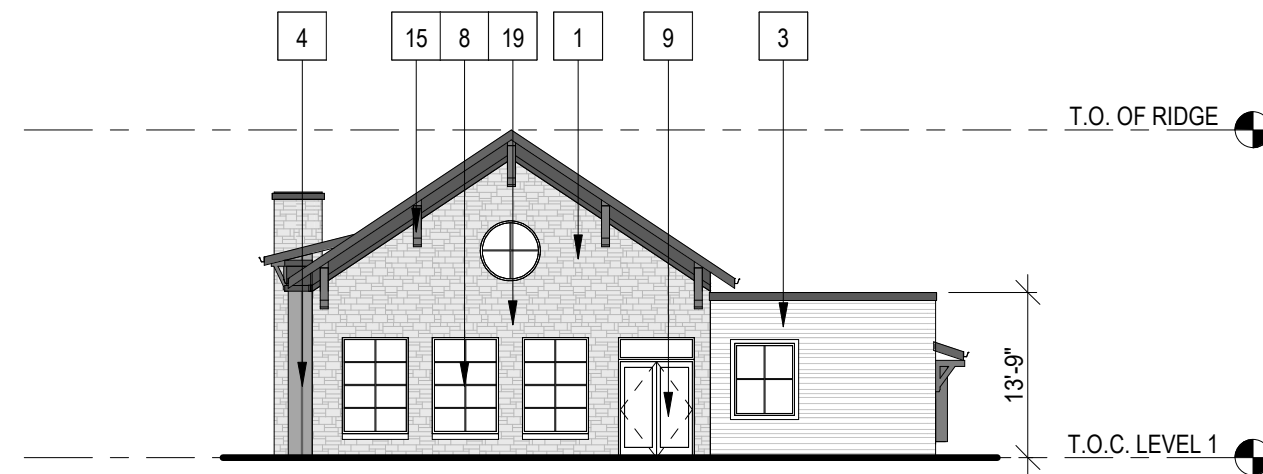
ST MARK VILLAGE
 OFFICIAL DEVELOPEMENT PLAN

03/18/2019
 05/20/2019
 07/26/2019

CASE # PLN19-0039

34 OF 37
 BUILDING C -
 ELEVATIONS

THIRD AMENDED OFFICIAL DEVELOPMENT PLAN
 LOTS 11, 12, 45, 46, 47 AND 48
 HOLLYHURST SUBDIVISION
 A PLANNED UNIT DEVELOPMENT IN THE
 CITY OF WESTMINSTER, COUNTY OF
 ADAMS, STATE OF COLORADO
 SHEET 35 OF 37



ELEVATION LEGEND

- STONE - COLOR 1
- FIBER CEMENT PANEL - COLOR 1
- BOARD AND BATTEN - COLOR 1
- LAP SIDING - COLOR 1
- ASPHALT ROOF TILES

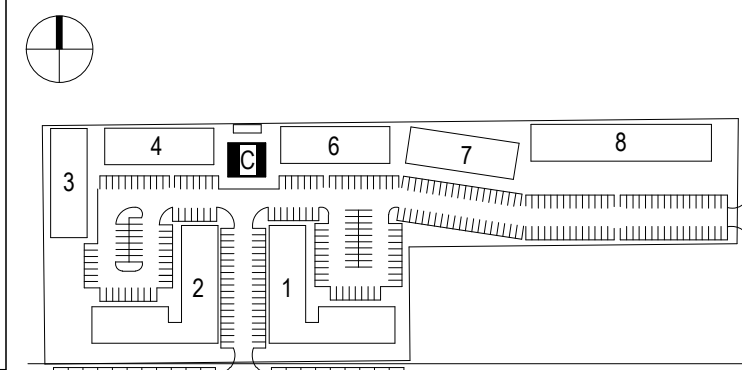
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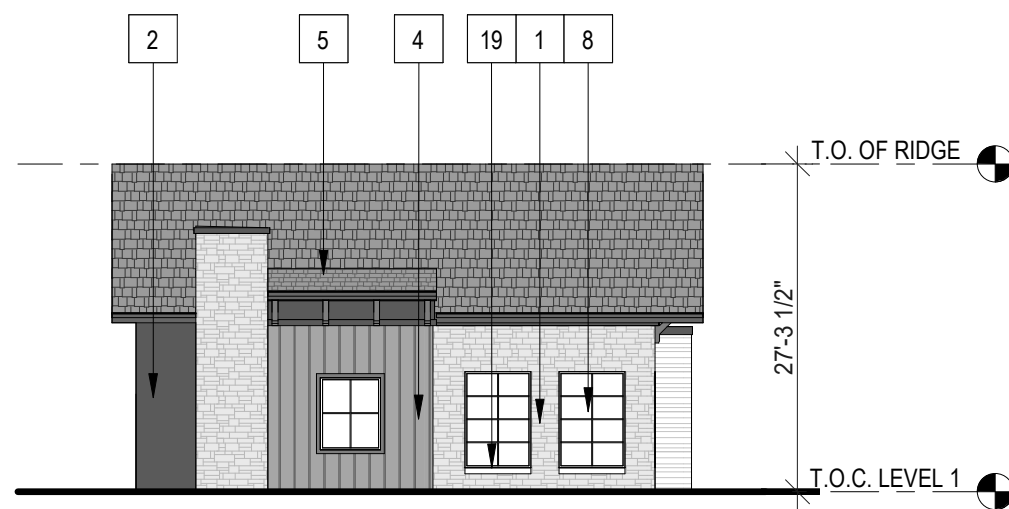
SITE KEY PLAN



BLDG 5 SOUTH ELEVATION

SCALE:
1/16" = 1'-0"

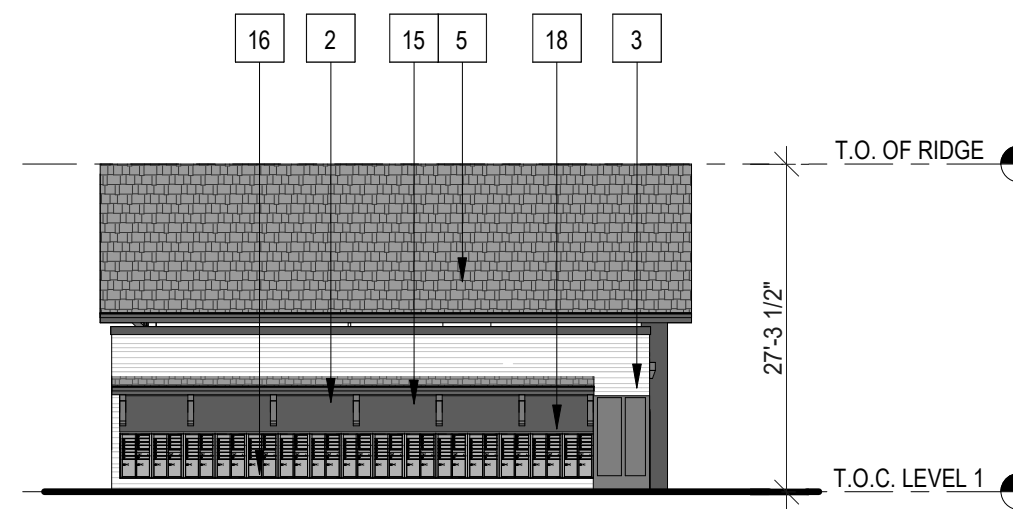
3



BLDG 5 WEST ELEVATION

SCALE:
1/16" = 1'-0"

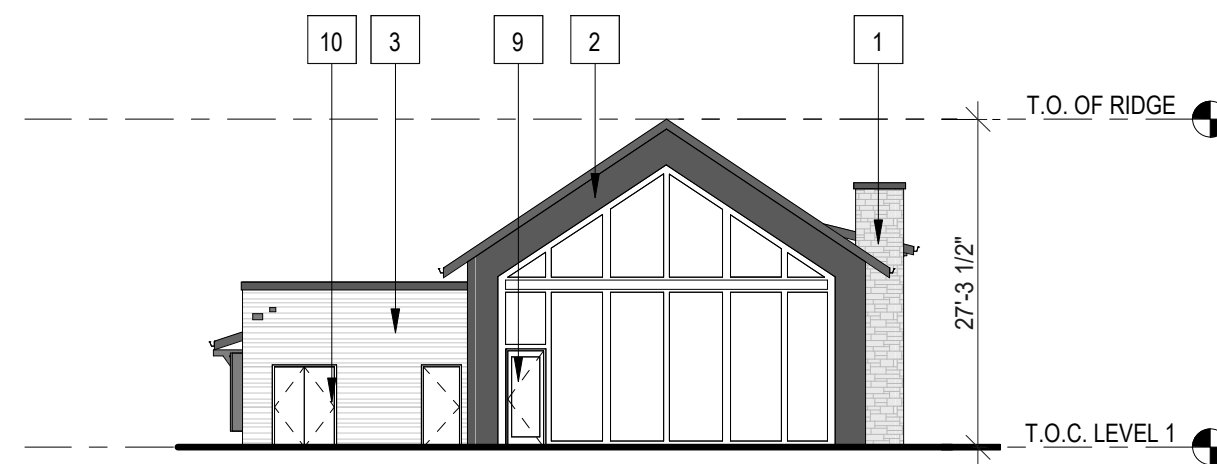
4



BLDG 5 EAST ELEVATION

SCALE:
1/16" = 1'-0"

2



BLDG 5 NORTH ELEVATION

SCALE:
1/16" = 1'-0"

1

CASE # PLN19-0039



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 820 16TH STREET, SUITE 500
 DENVER, CO, 80202
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 CONTACT: Project Manager
 ktgy@ktgy.com

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ST MARK VILLAGE
 OFFICIAL DEVELOPEMENT PLAN

03/18/2019
 05/20/2019
 07/26/2019

35 OF 37
 CLUBHOUSE-
 ELEVATIONS

THIRD AMENDED OFFICIAL DEVELOPMENT PLAN
LOTS 11, 12, 45, 46, 47 AND 48
HOLLYHURST SUBDIVISION
 A PLANNED UNIT DEVELOPMENT IN THE
 CITY OF WESTMINSTER, COUNTY OF
 ADAMS, STATE OF COLORADO
 SHEET 36 OF 37



KTGY - ARCHITECTURE + PLANNING
 820 16TH STREET, SUITE 500
 DENVER, CO. 80202
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 CONTACT: Project Manager
 ktgy@ktgy.com

DATE: 03/18/2019

ELEVATION LEGEND

- STONE - COLOR 1
- FIBER CEMENT PANEL - COLOR 1
- BOARD AND BATTEN - COLOR 1
- LAP SIDING - COLOR 1
- ASPHALT ROOF TILES

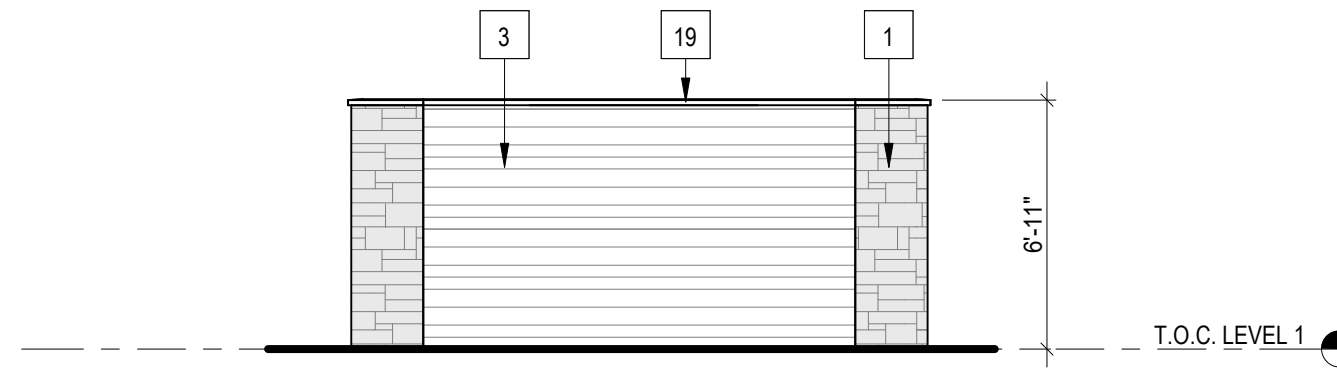
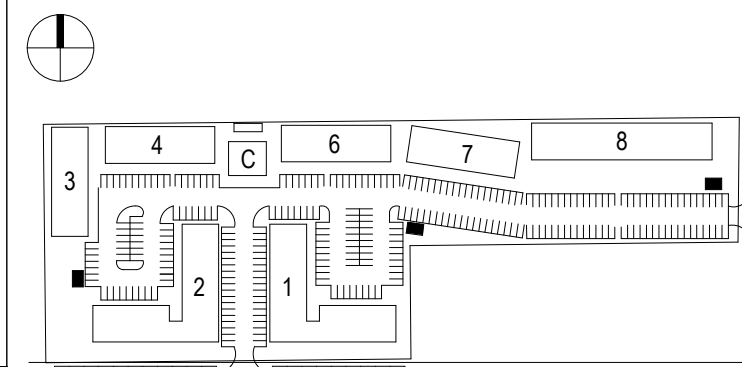
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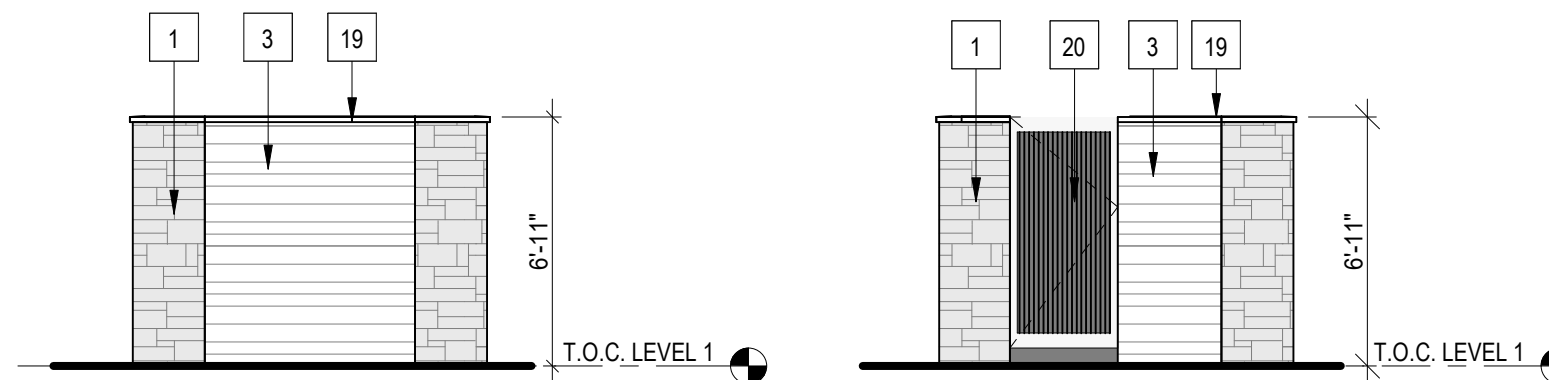
SITE KEY PLAN



TRASH ENCLOSURE ELEVATION

SCALE:
3/16" = 1'-0"

4



TRASH ELEVATION

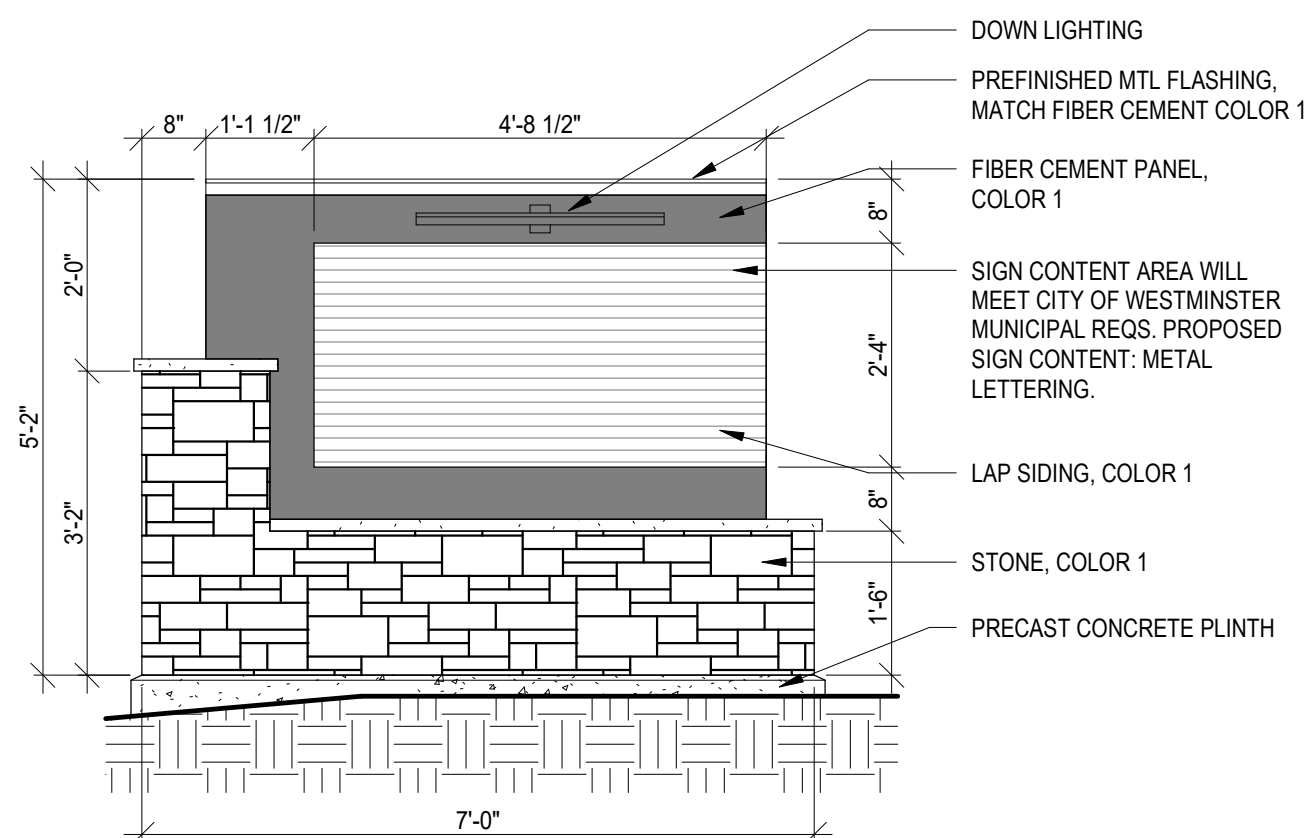
SCALE:
3/16" = 1'-0"

3

TRASH ELEVATION

SCALE:
3/16" = 1'-0"

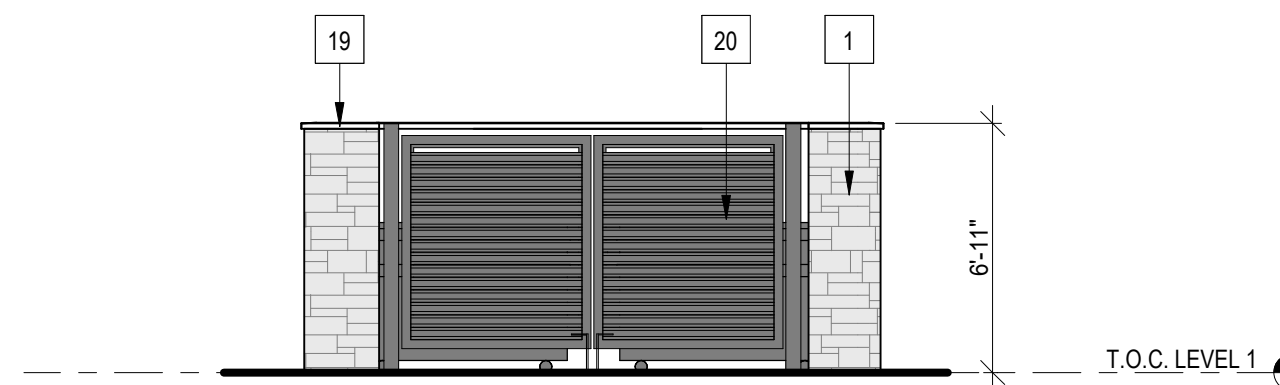
2



ENTRY MONUMENT SIGN

SCALE:
1/2" = 1'-0"

5



TRASH ENCLOSURE ELEVATION

SCALE:
3/16" = 1'-0"

1

CASE # PLN19-0039

ST MARK VILLAGE
OFFICIAL DEVELOPEMENT PLAN

03/18/2019
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36 OF 37
TRASH ENCL
ELEVATIONS

THIRD AMENDED OFFICIAL DEVELOPMENT PLAN
LOTS 11, 12, 45, 46, 47 AND 48
HOLLYHURST SUBDIVISION
 A PLANNED UNIT DEVELOPMENT
 IN THE CITY OF WESTMINSTER
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 37 OF 37

SCHEDULE							
LABEL	QTY	DESCRIPTION	MANUFACTURER	MODEL NUMBER	COLOR TEMPERATURE	LUMENS PER LAMP	LLF WATTS
A	35	LED WALL PACK	LITHONIA	DSXW1-LED-20C-700-30K-T3S-MVOLT-HS-DDBXD	3000K	4364	0.9 46
B	1	LED POLE LIGHT, (T4M)	LITHONIA	DSX0-LED-P6-30K-T4M-MVOLT-DDBXD	3000K	14506	1 134
C	1	LED POLE LIGHT, DOUBLE HEAD	LITHONIA	DSX0-LED-P6-30K-T4M-MVOLT-DDBXD	3000K	14506	1 268
D	4	LED POLE LIGHT, (BLC)	LITHONIA	DSX0-LED-P6-30K-BLC-MVOLT-DDBXD	3000K	12150	1 134
F	2	LED POLE LIGHT, (T3M)	LITHONIA	DSX0-LED-P6-30K-T3M-MVOLT-DDBXD	3000K	14396	1 134
G	2	LED POLE LIGHT, (T5M)	LITHONIA	DSX0-LED-P6-30K-T5M-MVOLT-DDBXD	3000K	15386	1 134
H	2	LED SIGNAGE LIGHT	LIGMAN	50553-4W-W30-XX-120/277V-A51431	3000K	164	N/A 4
POLE		SQUARE STRAIGHT STEEL POLE	LITHONIA	SS-18'-XX-XX-XX-DDBXD	3000K	15386	1 134

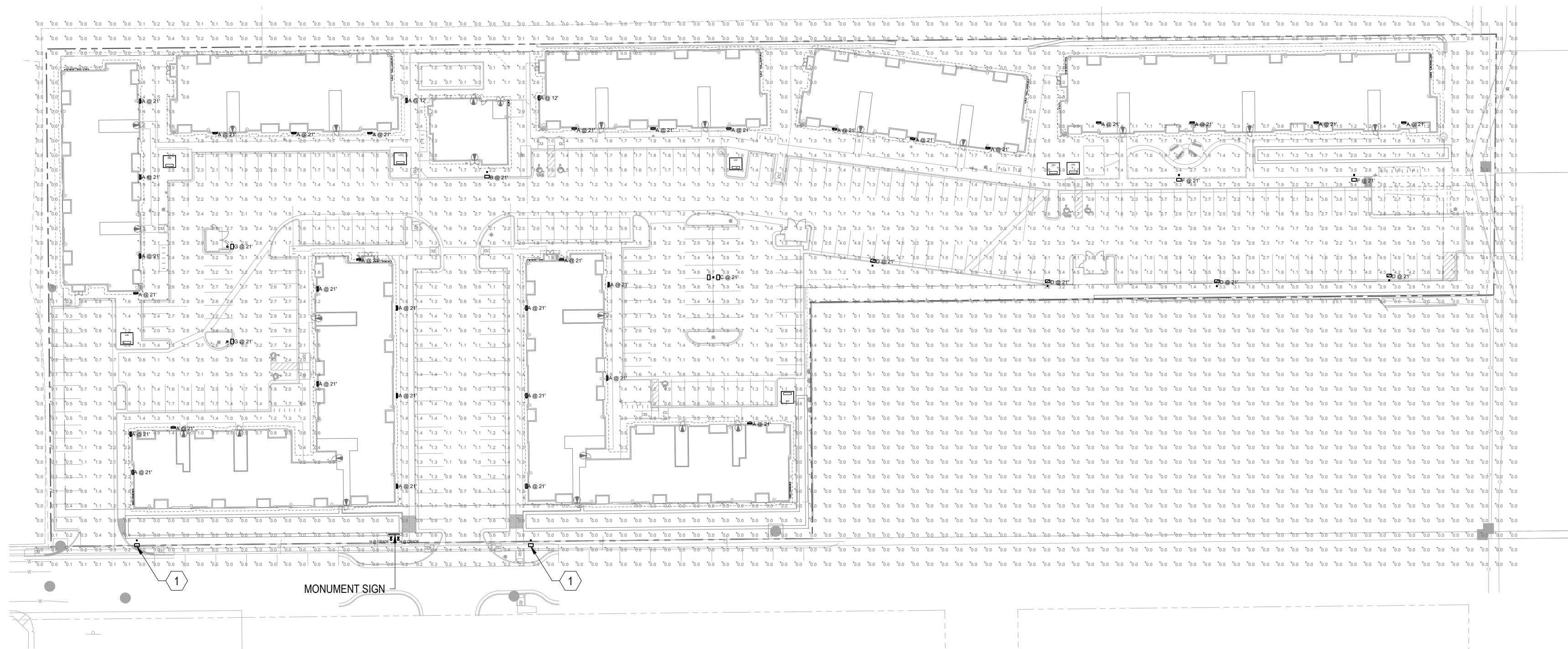
STATISTICS						
DESCRIPTION	SYMBOL	AVG	MAX	MIN	MAX/MIN	AVG/MIN
SITE	+	0.7 fc	6.7 fc	0.0 fc	N/A	N/A

GENERAL NOTES:

1. VERIFY ALL BUILDING FIXTURE MOUNTING HEIGHTS AND LOCATIONS WITH ARCHITECT.
2. ANY PROPOSED LIGHT FIXTURES INSTALLED ON PRIVATE PROPERTY, ADJACENT TO THE PUBLIC RIGHT OF WAY, SHALL BE ORIENTED IN SUCH A MANNER OR LIMITED IN LUMEN OUTPUT TO PREVENT GLARE PROBLEMS AND SHALL NOT EXCEED NATIONAL I.E.S. LIGHTING STANDARDS FOR DISABILITY GLARE.
3. BUILDING MOUNTED LIGHTS AND POLE MOUNTED AREA LIGHTS SHALL BE CIRCUITED THROUGH THE NEAREST BUILDING RELAY PANEL. A ROOF MOUNTED PHOTOCELL SHALL TURN THE CIRCUITS ON/OFF AS A FUNCTION OF AVAILABLE DAYLIGHT.
4. LANDSCAPE LIGHTING SHALL BE CIRCUITED THROUGH THE NEAREST BUILDING RELAY PANEL AND CONTROLLED BY AN ASTRONOMICAL CLOCK WITH SETTINGS THAT MEET OR EXCEEDS THE REQUIREMENTS IN SECTION C405 OF THE 2015 IECC. TIME SETTINGS SHALL BE SET SUCH THAT LANDSCAPE LIGHTS COME ON AT SUNSET AND TURN OFF AT SUNRISE.

KEY NOTES: (DESIGNATED BY "#")

1. REFER TO CIVIL PLANS FOR EXISTING STREET LIGHT FIXTURE LOCATION. PROPOSED STREET LIGHT SHALL MEET CITY OF WESTMINSTER STANDARDS. REFER TO THE LATEST CITY OF WESTMINSTER'S STREET LIGHTING DESIGN, STANDARDS AND SPECIFICATIONS' PACKAGE.



1 SITE PLAN - PHOTOMETRICS
 SCALE: 1" = 60'-0"



CASE# PLN19-0039

**ST MARK VILLAGE
 OFFICIAL DEVELOPEMENT PLAN**

03/18/2019
 05/20/2019
 07/26/2019

37 OF 37
 PHOTOMETRICS

DATE: 03/15/19